

NOTE:
WATER AND SEWER ARE AVAILABLE ALONG FULLER WAY VIA DEKALB COUNTY SEWER AND WATER.

FULLER COMPANY
8337 / PG 153
ZONED
M(LIGHT INDUSTRIAL)

RECEIVED
City of Tucker
OCT 08 2018
Community Development
Department
REVISION
CA-18-002
R2-18-004

SITE DATA:

TOTAL SITE AREA 3.53 ACRES

ZONING

CURRENT ZONING C-1
PROPOSED ZONING (PARCEL 1) MR-2
ZONING JURISDICTION CITY OF TUCKER
COUNTY OF DEKALB

RESIDENTIAL SFA DENSITY

20' X 42' REAR LOADED TOWNHOMES 20 UNITS
20' X 44' REAR LOADED TOWNHOMES 14 UNITS
TOTAL TOWNHOMES PROVIDED 34 UNITS

BASE MAX. RESIDENTIAL DENSITY ALLOWED 12.0 UNITS/ACRE
DENSITY PROPOSED (34 UNITS / 3.53ACRES) 9.63 UNITS/ACRE

PERIMETER SETBACK

FRONTAGE PROPERTY SETBACK 10-20 FEET
SIDE YARD SETBACK 0 FEET
REAR YARD SETBACK W/ ALLEY 10 FEET
TRANSITIONAL BUFFER ZONE N/A

BUILDING SEPARATION

FRONT TO FRONT 30 FEET
SIDE TO SIDE 15 FEET
FRONT TO SIDE 25 FEET
REAR TO REAR 30 FEET

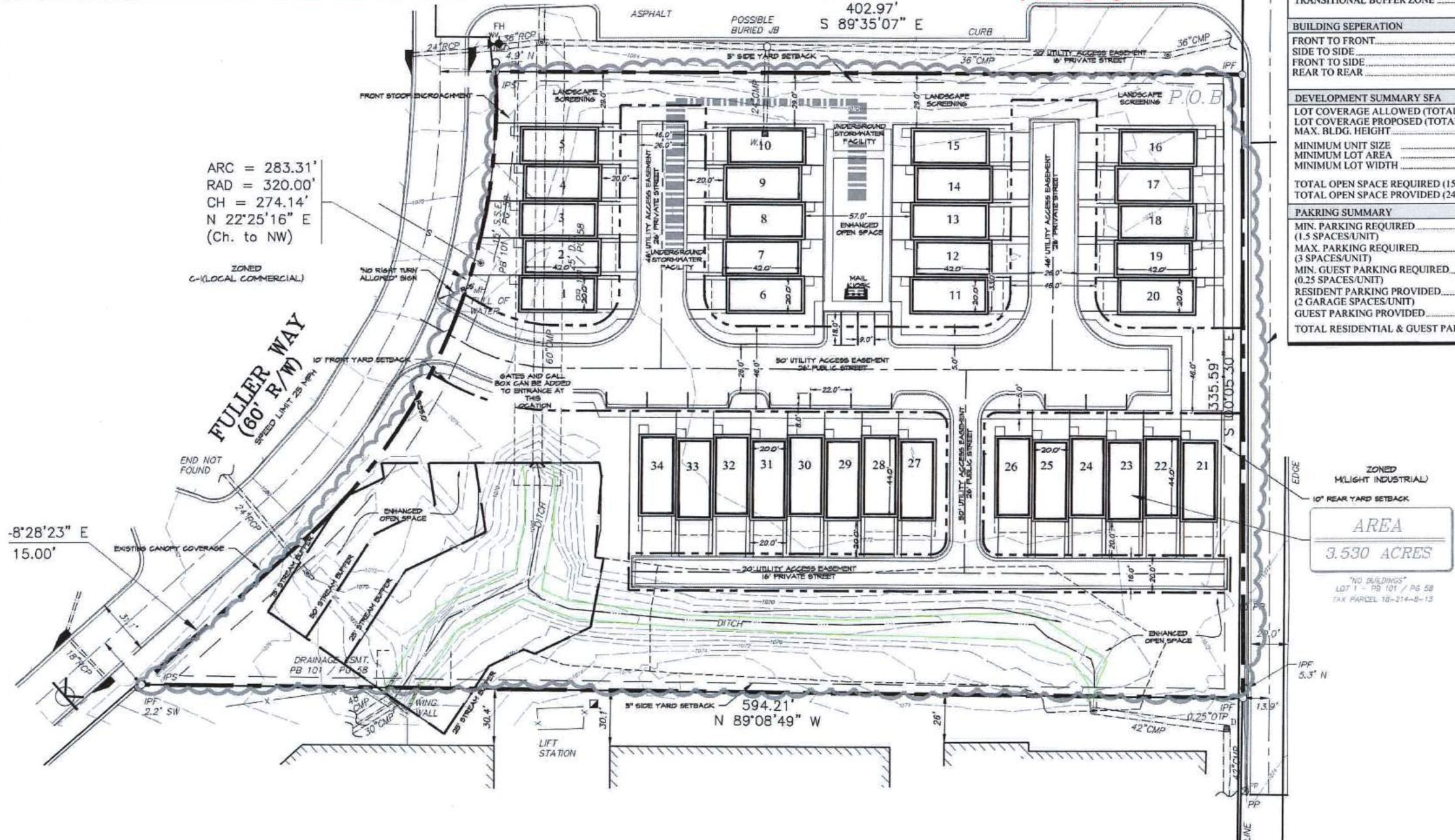
DEVELOPMENT SUMMARY SFA

LOT COVERAGE ALLOWED (TOTAL PARCEL AREA) 85.0 %
LOT COVERAGE PROPOSED (TOTAL PARCEL AREA) 85.0 %
MAX. BLDG. HEIGHT 3 STORIES/ 45 FEET
MINIMUM UNIT SIZE 1,200 SF
MINIMUM LOT AREA 1,000 SF
MINIMUM LOT WIDTH 20 FEET

TOTAL OPEN SPACE REQUIRED (15.0%) 0.53 ACRES
TOTAL OPEN SPACE PROVIDED (24.0%) 0.84 ACRES

PAKING SUMMARY

MIN. PARKING REQUIRED 51 SPACES
(1.5 SPACES/UNIT)
MAX. PARKING REQUIRED 102 SPACES
(3 SPACES/UNIT)
MIN. GUEST PARKING REQUIRED 8 SPACES
(0.25 SPACES/UNIT)
RESIDENT PARKING PROVIDED 68 SPACES
(2 GARAGE SPACES/UNIT)
GUEST PARKING PROVIDED 12 SPACES
TOTAL RESIDENTIAL & GUEST PARKING PROVIDED 80 SPACES



ARC = 283.31'
RAD = 320.00'
CH = 274.14'
N 22°25'16" E
(Ch. to NW)

ZONED
C-(LOCAL COMMERCIAL)

FULLER WAY
(60' R/W)
SPEED LIMIT 25 MPH

ZONED
M(LIGHT INDUSTRIAL)
10' REAR YARD SETBACK
AREA
3.530 ACRES

LOT #	ORIENTATION	LOT SIZE	LOT COVERAGE
1	REAR	1873	62%
2	REAR	1548	72%
3	REAR	1457	77%
4	REAR	1390	78%
5	REAR	1488	74%
6	REAR	1650	65%
7	REAR	1280	83%
8	REAR	1280	85%
9	REAR	1280	83%
10	REAR	1408	77%
11	REAR	1654	65%
12	REAR	1280	83%
13	REAR	1280	85%
14	REAR	1280	83%
15	REAR	1408	77%
16	REAR	1408	77%
17	REAR	1280	83%
18	REAR	1280	85%
19	REAR	1280	83%
20	REAR	1655	65%
21	REAR	1682	73%
22	REAR	1530	81%
23	REAR	1530	80%
24	REAR	1530	81%
25	REAR	1530	80%
26	REAR	1965	63%
27	REAR	1965	62%
28	REAR	1530	81%
29	REAR	1530	80%
30	REAR	1530	81%
31	REAR	1530	80%
32	REAR	1530	81%
33	REAR	1530	80%
34	REAR	1912	65%

REVISIONS:

NO.	DATE	BY	DESCRIPTION
*1	10/5/2018	KW	REVISED LAYOUT

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REZONING SITE PLAN

SCALE: 1" = 30'
DATE: AUGUST 23, 2018
PROJECT: 11047.0A

REGISTERED PROFESSIONAL ENGINEER
KENNETH J. WOOD
10/5/2018

Z1
SHEET

24 HOUR CONTACT:
NEVILLE ALLISON
678-223-8978



Z1
SHEET

FULLER WAY PARK
FOR
A MASTER PLANNED RESIDENTIAL DEVELOPMENT
THE ARDENT COMPANIES
2100 POWERS FERRY ROAD
SUITE 300
ATLANTA, GEORGIA 30339
PHONE: 678-223-8978

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PLANNERS AND ENGINEERS COLLABORATIVE
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