

REVISED ZONING SUBMITTAL
AUGUST 4, 2017

THE RISE **REVISION**

TUCKER



CITY OF TUCKER
AUG 07 2017
RECEIVED
CA-17-001
RZ-17-002
SLUP-17-003

Development Standards and
Architectural Character

MACAULEY

WAKEFIELD
BEASLEY &
ASSOCIATES

Development Standards and Architectural Character

TABLE OF CONTENTS

PAGE

I. VISION	1
II. OVERALL SITE DEVELOPMENT STANDARDS	1
Curb Cuts and Entry Points	
Building Orientation	
Barriers	
Building Height	
Building Setbacks	
Open Space Requirements	
Transitional Buffer Zone Requirements	
Streets and Sidewalks	
Landscape Zones	
Parking	
(A) Residential	
(B) Multifamily	
(C) Office	
(D) Retail	
Signage	
(A) Ground Mounted/Freestanding	
(B) Storefront/Wall Mounted	
(C) Secondary Attached Sign	
(D) Shingle Signs	
(E) Banners and Event Signage	
(F) Regulatory & Street Signs	
(G) Information Standard Signs	
Underground Utilities	
Interparcel Access	
Multimodal Access Plan	
(A) Connections	
III. ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES	10
Development Standards for Office, Retail and Mixed Use Buildings	
Development Standards for Multifamily Buildings	
Architectural Character	
Architectural and Design Controls	
(A) Massing	
(B) Building Elevations	
(C) Exterior Walls	
(D) Façades	
(E) Building Orientations	
(F) Canopies and Overhangs	
(G) Roof Lines	
(H) Storefronts and Entries	
(I) Windows	

- (J) Green Walls
- (K) Rear Service Areas
- (L) Building Materials Criteria
- (M) Trash Enclosures
- (N) Outdoor Storage (Permanent)
- (O) Outdoor Merchandise Display
- (P) Antennas
- (Q) Temporary Buildings and Signage
- (R) Fast Casual Restaurants

Site & Landscape Design Controls

- (A) Roadways and Vehicular Circulation
- (B) Typical Parcel Development
- (C) Property Buffers and Setbacks
- (D) Entry
- (E) Parking Lots
- (F) Detailed Landscape Plan
- (G) Trash, Recycling, and Service Areas
- (H) Utilities
- (I) Maintenance of Unimproved Sites
- (J) Installation and Timing
- (K) Fencing
- (L) Plant Palette
- (M) Paving and Materials
- (N) Site Furnishings
- (O) Lighting

IV. PLANS APPROVAL PROCESS 22

- (A) Plans Approval Required Certificate of Compliance
- (B) Initial Design Review Package
- (C) Multimodal Access Plan
- (D) Final Design Package Review and Approval Process

V. INDEX 25

- Representative Panels of Architectural Character
 - 2 Story Office Above Retail
 - Two Family Dwelling - Cottages
 - Smoke Rise Elementary School
 - Grocery
 - Supportive & Non-Supportive Living
 - Entry High Howell Road
 - Entry Mountain Industrial Boulevard
 - Site Section Key
 - Site Sections A, B&C

I. VISION

The Rise Tucker is a master planned mixed use community that integrates several different land uses into a comprehensive development. The intent of the design character is to avoid a monoculture of architectural design and styles. While the architecture is meant to be compatible and blending into its surroundings, it should be able to stand alone as a complete statement. These design guidelines are set up to allow for this uniqueness by giving enough parameters to insure an acceptable level of quality without becoming too stringent and stifling creativity. This development when built out should look like it has evolved over time and not built out all at once.

As in all Macauley Town Centers the romance is in the landscape, and The Rise is no exception. Emphasis will be given to landscaped areas and plazas to entice users in with water features, greenery and comfortable site furnishings. Site and night lighting will be incorporated to extend the landscape enjoyment into the night hours. Emphasis is put on sustainability from Earth Craft homes to rain water collection. The landscape design controls are established to reduce the carbon footprint on the environment.

The Rise is designed to become a viable destination for live, work, and play with an influence extending throughout The City of Tucker and beyond.

II. OVERALL SITE DEVELOPMENT STANDARDS

These standards are written to improve upon the existing requirements of The City of Tucker, while at the same time allowing the developer of The Rise latitude when directing the design and construction of the facilities.

In the case where these standards are silent on a requirement or recommendation, the city code shall apply. In the case where these standards contradict the city code, the justification is to improve upon the existing code by allowing flexibility when it is in the best interest of the project - and The City of Tucker as a whole.

The Master Development Association is the on-site responsible party for enforcement of these standards and will regulate approach, implementation and maintenance of all facilities. In the case where there is a code violation, The City of Tucker will exercise their jurisdiction.

The following requirements shall apply to all parcels and individual buildings of The Rise.

When parcels are individually permitted, engineered site plan shall conform to the character and design of the approved Zoning Site Plan.

CURB CUTS AND ENTRY POINTS

The maximum curb radius at any intersection or curb cut is thirty (30) feet.

All parking shall be accessed via shared throughways or private drives. Curb cuts on external streets require city approval. As a general rule, if an existing parcel faces a primary street exceeding seven hundred (700) linear feet, then one (1) curb cut per seven hundred (700) linear feet is allowed. If a development is accessible from more than one (1) secondary street, the development shall be limited to one (1) curb cut per block.

All curb cuts to existing major streets shall be a maximum of twenty-four (24) feet wide, plus width of required turn lanes.

The Rise - Aerial Perspective



The Rise - Illustrative Master Plan



Common or joint entry points are encouraged and may be required by GDOT and The City of Tucker.

Driveways must be perpendicular to the adjacent street, or within threshold of The City of Tucker.

BUILDING ORIENTATION

Buildings located toward the front of each parcel shall be no more than twenty (20) feet from the public sidewalk. If a parcel is bound by more than one (1) street, the front of the building shall be considered the side adjacent to the internal street. The building shall be designated as a corner building and oriented towards the intersection.

For nonresidential purposes, the primary ground floor entrance to all buildings shall be clearly visible from the throughways or main streets and shall be unlocked during operating business hours. If a building fronts more than one (1) street, the primary entrance shall face the street with the highest visibility.

Where development is on a primary or secondary street and across the street from an existing residential use which also faces the street, the development shall contain buildings facing the primary or secondary street and the existing residential development.

Maximum spacing between buildings along a primary street shall be twenty (20) feet unless a public space, or el fresco dining is provided between the respective buildings.

Minimum space between buildings shall be zero (0) feet, but if the property is adjacent to an existing building with windows facing the property line, the setback shall be as required by Fire Safety Codes for building separations. All service areas shall be

screened from view from the public with buildings, landscaping, or decorative fencing/walls.

BARRIERS

Decorative fencing/walls shall only be made of stucco brick, stone, steel, or wood. Fencing in the front of any single-family residential property shall not be higher than four (4) feet. Source walls of commercial/office buildings shall not be higher than eight (8) feet.

No utility fence or similar elements shall be visible from any public view, ground or sidewalk level outdoor dining area or street.

Pedestrian gates and security barriers shall be prohibited except within breezeway entries to multifamily units, offices and senior supportive and non-supportive living units.

All internal utilities shall be located underground except where prohibitively expensive and as compatible to GDOT and utility provider.

BUILDING HEIGHT

All building heights are to be measured from the finished floor elevation to the top of cornice (or top of parapet wall) for flat-roofed buildings or the bottom of the eave for sloped-roofed buildings. See Chart 3.1.

Retail/office buildings within The Rise that are one (1) story shall be a maximum of twenty-four (24) feet in height.

Single-family attached houses shall be allowed to be a maximum two (2) stories with a maximum plate height of twelve (12) feet in height.

Mixed-use maximum building height for The Rise shall be four (4) stories over 1 story retail/office or seventy-two (72) feet.

2 family dwelling cottages in all of the residential parcels shall not exceed three (3) stories or forty-five (45) feet.

Buildings in The Rise shall be permitted to exceed the maximum building height provided it meets one (1) or more of the following:

Mixed-use buildings that include residential units and multifamily buildings are permitted to add one (1) additional story if twenty (20) percent of the total number of residential units within a development are priced for workforce housing and is allowed a proportionate increase in density per floor.

The maximum building height with any combination of height bonuses above shall not exceed seventy-two (72) feet. Special land use permits and variances shall not alter or allow structures taller than the maximum building heights.

Rooftop decks and non-conditioned structures intended for outdoor activities are exempt from height restrictions, but limited to one (1) story.

BUILDING SETBACKS

The following requirements shall apply to all structures in The Rise.

Minimum front setback shall be zero (0) feet. Buildings shall be permitted to be set back from the public right of way to allow for building stoops, front porches, balconies or steps, a public space or public park, outdoor dining, outdoor merchandising, or landscaping that does not

completely cover the façade of the building. All ground floor uses fronting public streets shall have a sidewalk facing public right of way.

The minimum side and rear setbacks shall be zero (0) feet, however if the property is adjacent to an existing building with windows facing the property line, the setback shall conform to Fire Safety Codes. The side of a building facing a public street shall be permitted to set back from a public sidewalk to allow for building stoops, front porches, balconies or steps, a public plaza or park, outdoor dining, outdoor merchandising, or landscaping that does not completely cover the façade of the building. All ground floor uses must have a sidewalk or clear hardscape pathway connecting the building entrance to the public sidewalk along the street.

OPEN SPACE REQUIREMENTS

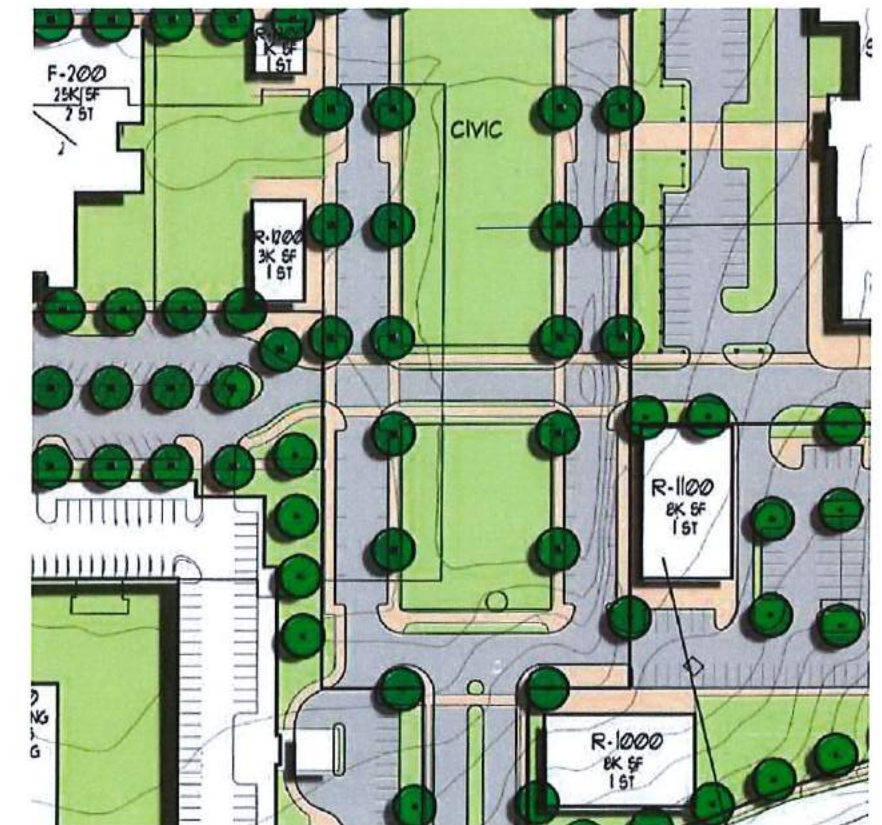
Provide a publicly accessible open space at minimum of twenty (20) percent of the total development site, shall be provided. Open spaces shall be dedicated to and accessible to the public and may provide multi-use trails, free play area, dog park, and other facilities for use by public.

All publicly accessible open spaces shall be open to general public access during daylight hours, and be directly accessible to a sidewalk or trail.

Publicly accessible open spaces should include appropriate landscaping, including shade trees for canopy replacement. At least one (1) tree must be provided within or directly adjacent to the open space for every two thousand (2,000) square feet of open space. Trees must be a minimum of three (3) inches in caliper, shall be a minimum of twelve (12) feet in height and shall have a minimum mature height of thirty (30) feet.

BUILDING HEIGHT CHART 3.1

Building Type	Story	Max Height
Retail Office	1	24 ft.
Single Family Attached	2	36 ft.
Mixed-Use	5	72 ft.
2 Family Dwelling Cottage	3	45 ft.



The Rise - View of Commons - Hugh Howell Road

Publicly accessible open spaces including store front, planted areas, fountains, parks, plazas, trails, paths, and hardscape elements related to sidewalks and plazas and similar features which are located on non-private residential property and accessible to the general public, the portion thereof located on private property; and natural stream buffers shall be permitted to count toward the twenty (20) percent open space requirement for the total site.

Private courtyards and other private outdoor amenities shall be located at the interior of the block, behind buildings or on rooftops. Private courtyards and outdoor amenities shall be prohibited from being counted toward the twenty (20) percent minimum open space requirement and other open space calculations that may increase maximum building heights.

All open space including buffers, setbacks, sidewalks, and landscape strips shall be fully implemented prior to issuance of a certificate of occupancy for the parcel that is under development.

When a parcel or private property owner provides landscaping within their particular parcel or lot, and the landscaping dies within one (1) year of installation, such landscaping shall be replaced within the earliest possible planting season.

Covenants or other legal arrangements shall specify ownership of all open spaces, the method of and responsibility for maintenance, taxes, and insurance, compulsory membership and assessment provisions, and shall be incorporated into legal instruments sufficient to ensure that the open space requirements of this section are maintained.

TRANSITIONAL BUFFER ZONE REQUIREMENTS

Where a parcel on the external boundary of The Rise is used for residential purposes and adjoins the boundary of any property that is within The Rise, a transitional buffer zone of not less than fifty (50) feet in width shall be provided and maintained in a natural state or replanted if disturbed so as to maintain an effective visual screen. Said transitional buffer zone shall not be paved or otherwise covered with nonpervious surfaces and shall not be used for parking, loading, storage, or any other uses, except that portions of the transitional buffer zone may be utilized for installation of utilities when necessitated by the development, and when the applicant shows that the utilities cannot be located outside of the transitional buffer zone. Water detention ponds shall not be located within the transitional buffer zones. No trees, other than dead or diseased trees, shall be removed from said transitional buffer zone, but additional trees and plant material may be added to the transitional buffer zone.

The school owned by Dekalb County Schools is exempt from the requirements.

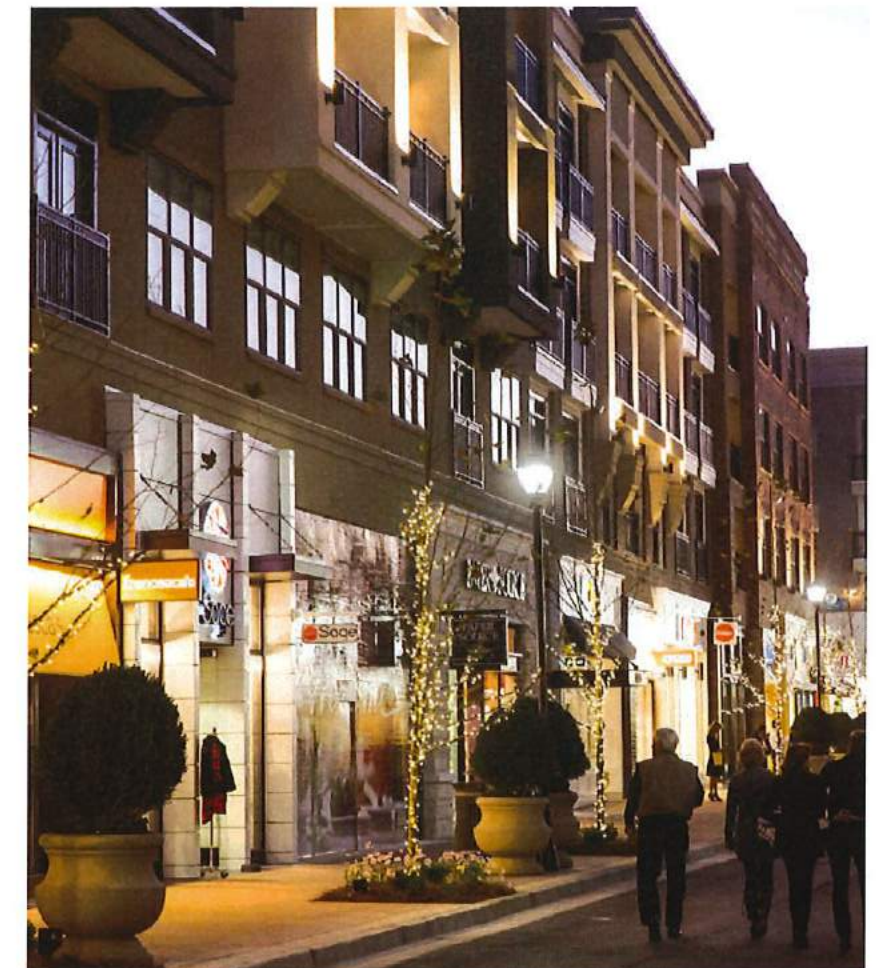
STREETS AND SIDEWALKS

All streets within The Rise shall be private streets except where designated on Zoning Plan as public right of way.

All streets shall comply with the requirements of public streets within The City of Tucker depending on governing jurisdiction.

Streets shall be designed to create an interconnected system of grid-patterned roads, modified only to accommodate topographical conditions.

The Rise - Prototypical Street Character



Pedestrian zones shall be provided on all streets and shall consist of a landscape zone and a sidewalk zone of widths as provided below.

Landscape zones shall be planted with trees, grass, ground cover or flowering plants, or consist of brick or concrete paver's, or exposed aggregate concrete where on-street parking is provided or pedestrian crossing and/or congregation is likely. Sidewalk zones shall be paved in concrete and kept clear and unobstructed for the safe and convenient use of pedestrians.

The intent of this section is to provide for a fifteen-foot-wide pedestrian zone to include landscape and paved pedestrian ways. Unforeseen physical site conditions may not provide for a uniform application of this requirement but landscape treatments and zones will shift to accommodate street parking across and store front visibility. The pedestrian zone shall consist of a landscape zone and a sidewalk zone. Landscape zone shall include planters and on street tree plantings in grates.

Single family residential uses shall provide a ten-foot-wide pedestrian zone consisting of a four-foot-wide landscape zone measured from the back of the adjacent street curb and a six-foot-wide sidewalk zone elsewhere along all cross walks shall be eight (8) feet in width.

All sidewalk paving materials shall be continued across any intervening driveway at the same prevailing grade and cross slope as on the adjacent pedestrian sidewalk area with all driveway crossings meeting ADA standards. Pedestrian sidewalk areas paved with materials other than concrete that are consistent in color with concrete sidewalks may be allowed as long as they complement and meet ADA standards.

Where newly constructed sidewalks abut existing sidewalks, the newly constructed sidewalk shall provide safe facilitation of pedestrian traffic flow to adjacent sidewalks. Any development that disturbs existing sidewalks on the adjacent property shall replace disturbed areas to their predisturbance state and condition.

Safe and convenient pedestrian pathways shall be provided from sidewalks along streets to each structure entrance, including pedestrian access routes to parking decks and through parking lots and between adjacent buildings within the same development. All such pathways shall be concrete and a minimum width of six (6) feet.

LANDSCAPE ZONES

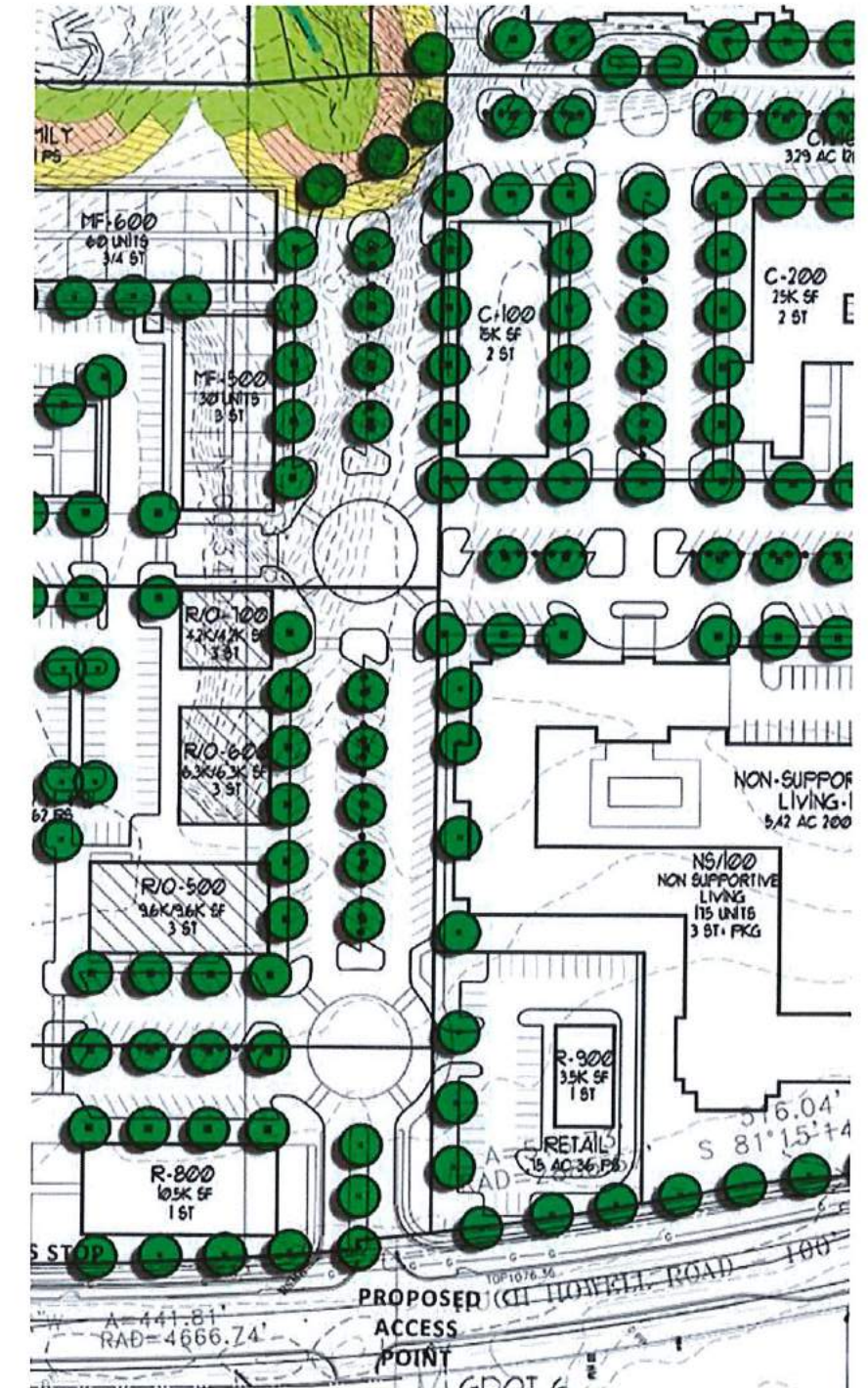
Street trees shall be planted in all landscape zones spaced at a maximum distance of forty-five (45) feet on center.

New street trees must be a minimum of three (3) inches in caliper, shall be a minimum of twelve (12) feet in height, shall have a minimum mature height of thirty (30) feet and shall be limbed up to a minimum height of eight (8) feet.

Street trees shall have a minimum planting area of three (3) feet square. Tree-planting areas shall provide porous drainage systems that allow for drainage of the planting area. Trees shall be protected by the grates or stone ballasts within minimum planted area.

Street tree species shall be consistent for entire block lengths. Species shall be permitted to change on individual block to provide variety and interest. However, species must be consistent to visual quality and not appear haphazard.

The Rise - Prototypical Street Tree Patterns



All initial plantings and plant removal other than routine maintenance or replacement shall be approved by the Master Development Association and The City of Tucker Arborist.

Benches, trash receptacles, way finding signage and bike racks shall be placed within the landscape zone. Lamp posts, traffic bollards and street trees shall be placed within pedestrian zone.

PARKING

These parking requirements may differ from The City of Tucker code. Any deviation from the code is due to intent to maximize efficiency of parking where necessary to increase marketability of multifamily residential and leasable space. In lieu of landscape islands every 8 parking spaces, trees will be planted in close proximity of 45 feet on center. Where double magazines of parking occur, a center strip of 36" wide will be provided as a tree planter and also act as a water collector. The results of these methods will not move tree planting closer together. See Chart 6.1.

Off-street parking requirements for uses and structures are authorized and permitted, as follows:

- (A) Residential
Single-family attached and 2 family cottage dwellings.

Two (2) garaged spaces maximum with one (1) space for guest. Residences can be front or rear loaded off of private streets.
- (B) Multifamily
One and one half (1.5) space per unit.
- (C) Office
Three (3) parking spaces for every one thousand (1000) square feet of leasable space.

- (D) Retail
Five (5) parking spaces for every one thousand (1000) square feet of leasable space.

On street parking shall be parallel and be 8 feet wide and 22 feet long.

Shared parking is encouraged if conforms to Table 6.4 of the Zoning Code for The City of Tucker in permitted reductions of off-street parking requirement. Parking facilities within a parcel may be shared with multiple uses cooperatively establish and operate parking facilities and if these uses generate parking demands primarily when the remaining uses are not in operation. Required parking for single family residential units shall be prohibited from being shared.

Required residential parking shall be segregated from parking for all other uses with the exception of additional parking provided for on street parking for guest.

Each development parcel which provides automobile parking facilities shall provide bicycle parking facilities near adjacent parking areas, parking lots, or the landscape zone of the adjoining sidewalk. Non-Residential developments shall provide bicycle parking at a ratio of one (1) bicycle parking space for every fifty (50) vehicular spaces. Multifamily residential developments shall provide bicycle parking facilities at a minimum ratio of one (1) bicycle parking space for every ten (10) multifamily units. No development parcels shall have fewer than three (3) bicycle parking spaces nor be required to exceed a maximum of fifteen (15) bicycle parking spaces. See Chart 6.2.

All parking ground level under building shall conform to the architecture of the façade and blend in as an integral part of the building. If applicable, a parking deck that is visible to the

VEHICULAR PARKING REQUIREMENTS CHART 6.1

Land Use	Parking Spaces Needed
SF Residential	2 garaged off street spaces/lot
Multi-family	1.5 parking spaces/unit
Office	3 parking spaces/1000 SF
Retail	5 parking spaces/1000 SF
2 Family Dwelling	2 garaged off street spaces/lot

BICYCLE PARKING REQUIREMENTS CHART 6.2

Land Use	Bike Parking Allocations
Non-Residential	1 space/50 vehicles
Multi-family	1 space/10 units
All Parcels	3 spaces minimum 15 spaces maximum

public shall be clad with materials similar to surrounding buildings.

Wheel stops or bumpers shall be placed at the head of all off-street parking spaces that abut a landscape strip, sidewalk or drainage strip.

Generally, parking configuration at The Rise is designed as a double magazine with 60 degree angled parking with one or two way travel lanes. Street trees and medium trees shall be provided in accordance with all other provisions of this section.

All parking areas shall be designed to maximize parking while providing adequate shade requirements. In lieu of island modulation, shade trees will be congregated at cross walks and other people areas. Shade trees will provide an outer line planter of double magazine parking. Shade trees must be a minimum of three (3) inches in caliper, shall be a minimum of twelve (12) feet in height, shall be planted at forty-five (45) feet on center, shall have a minimum mature height of thirty (30) feet and shall be limbed up to a minimum height of eight (8) feet.

All surface parking decks, and parking structures shall have a landscape strip minimum of three (3) feet in width immediately contiguous to the parking facility for the whole of the exterior perimeter of the parking facility except at vehicular or pedestrian entrances and exits and where ground floor buildings are located. Such landscape strips shall contain no less than one (1) under-story or over-story tree per fifty (50) linear feet, ten (10) shrubs per fifty (50) linear feet, and living ground cover, sod and/or annual or perennial color in the landscape strip surface area.

If required automobile parking spaces cannot be reasonably provided on the same parcel on which the principal use is conducted, such spaces may

be provided on adjacent or nearby property within The Rise through a shared parking agreement approved by the Master Development Association provided a majority of such spaces lie within close proximity of the main entrance to the principal use for which the parking is provided.

On-street parking spaces provided by a development shall be permitted to be counted toward the minimum parking requirements for the respective development for all uses except single-family attached dwellings. On-street parking spaces shall be eight (8) feet in width and twenty-two (22) feet in length as a minimum.

No parking area may be used for the sale, repair, dismantling, service, or long term storage of any vehicles or equipment.

SIGNAGE

Design intent of The Rise signage allows for individuality, but requires an overall blending of styles that enhance the development. All signs shall be submitted to the Master Development Association for approval. Signage is restrictive to:

- (A) Ground Mounted/Freestanding Ground signs shall be minimized areas with a base and framework made of similar architectural materials as buildings.

The maximum height of any freestanding sign above the average grade shall not exceed the following:

- Eight (8) feet where the sign face does not exceed forty (40) square feet;
- Ten (10) feet where the sign face does not exceed sixty (60) square feet; or

The Rise - Prototypical Signage Character



- Twelve (12) feet where the sign face exceeds sixty (60) square feet each side.
- Twenty (20) feet for designated main identification sign with one on Mountain Industrial Boulevard and one on Hugh Howell Road. Maximum one hundred twenty (120) square feet per side.
- No more than one (1) ground sign per interior parcel permitted. Additional identification can be assigned to offsite group signage.

(B) Storefront/Wall Mounted

Creativity and variation in the design of all signs is encouraged at The Rise.

The combined area of any and all signage of any building or structure shall not exceed forty (40) percent of the main building façade.

(C) Secondary Attached Sign

Location: The sign must fit within the sign placement zone. The sign may be up to twenty-five (25) percent of linear building frontage of tenant. Sign not to exceed two-thirds of the height and width of perceived sign band.

Quantity: Only one primary sign is allowed per entry for exterior entrance. Tenants with a multiple entrances, or show windows on a different elevation are allowed one additional sign.

Placement: The sign shall be placed within the sign placement zone and centered above the storefront as deemed possible.

Projection: The sign structure is allowed to project eight (8) inch max from the building façade.

Sign Materials: Wood (Painted or Stained) Metal Pin or Channel Lettering, Ceramic Tile

(D) Shingle Signs

Shingle designs are to be unique expressions of the tenant's identity. The tenant is encouraged to use modern influences in developing the signage aesthetic. Shingle signs are recommended for all tenants on street frontage.

Location: Along outside face of boulevards.

Quantity: Only one (1) sign per establishment with a standard entrance in a multi-establishment building.

Size: Six (6) square foot maximum excluding mounting.

Placement: Bracket mounted directly to building face. Shingle to be mounted at eight feet zero inches (8'0") clear above walkway.

Materials: Blade Material Painted metal (dark green, black, white or bronze colors only), stainless steel.

Sign Materials: Painted metal, stainless steel, or wood (stained or painted). Plastics or acrylics prohibited.

SIGNAGE CHART 8.1

SIZE RESTRICTIONS

Type	Height (clearance)	Size (maximum)
Ground Mounted/ Freestanding	8 ft.	40 SF
	10 ft.	60 SF
	12 ft.	60 SF*
	20 ft.	120 SF*
Storefront/Wall Mounted		40% façade
		25% façade
Secondary Attached		
Shingle	8 ft.	6 SF
Banners/Event	8 ft.	18 SF*

*Each side of double faced surface

(E) Banners and Event Signage
Nothing in the above precludes use of decorative banners and event posters with approval of the Master Development Association.

(F) Regulatory & Streetname Signs
The Regulatory and Streetname sign design serves as a standard for all regulatory and streetname signs within The Rise. All regulatory signage must conform to the Manual on Uniform Traffic Control Devices (MUTCD) guidelines. The Rise logo shall be incorporated into face.

(G) Information Standard
The Information Standard design serves as the standard for all miscellaneous information signs including but not limited to Trailhead, Dog park, Event Parking, No Trespassing etc. with The Rise.

UNDERGROUND UTILITIES

All utilities except for major electric transmission lines and substations are required to be placed underground except where the Master Development Association determines that underground utilities are not feasible due to pre-existing physical conditions, such as conflicting underground structures or utilities, shallow rock, high water table, or other similar geologic or hydrologic conditions. In such case, The City of Tucker will be notified and any and all efforts will be made to accommodate the construction of utilities in a tasteful manner.

INTERPARCEL ACCESS

To the maximum extent possible, sidewalks and parking lots serving adjacent parcels shall be interconnected to provide continuous drive, shared

parking connections and pedestrian connections between adjoining parcel users to include access to open space areas.

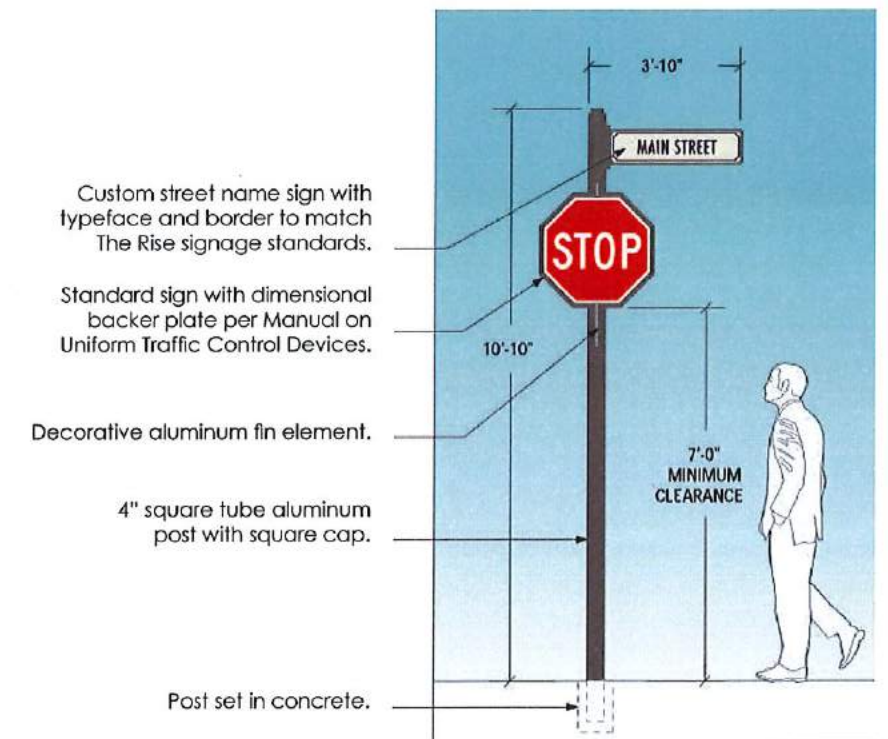
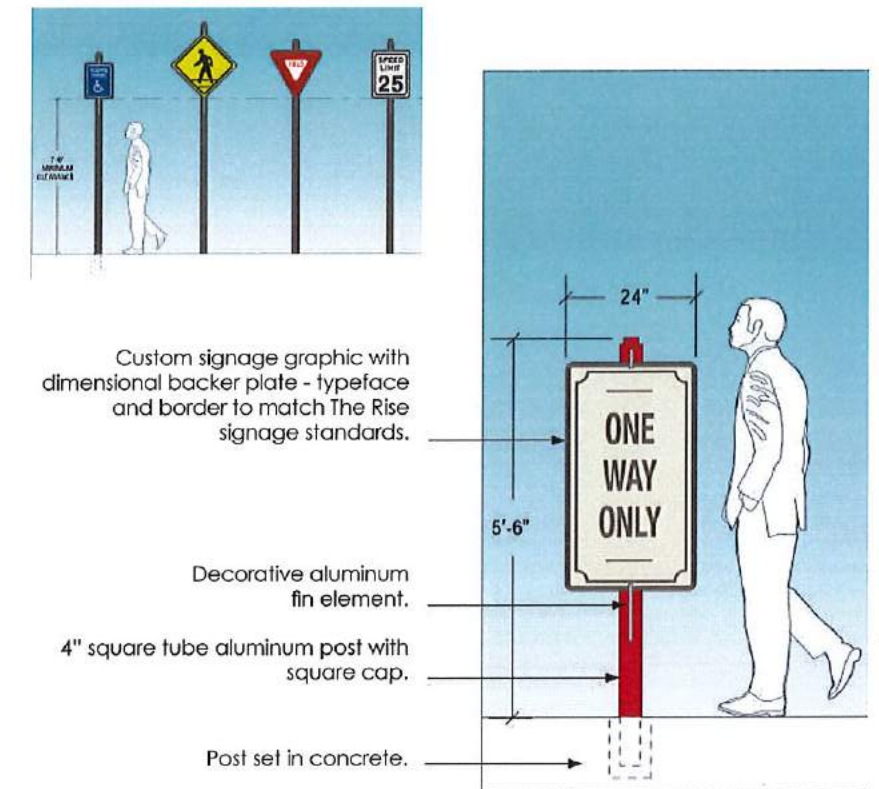
MULTIMODAL ACCESS PLAN

Each new application for a development permit within The Rise shall be accompanied by a multimodal access plan and included in the LDP Package prepared at a scale of the Engineers drawings. The multimodal access plan shall cover the full extent of the proposed development along with public rights-of-way of adjoining streets and any other property lying between the subject property and the nearest public streets on all sides. The purpose of the multimodal access plan is to demonstrate a unified plan of continuous access to and between all parcels in the proposed development and adjacent church property.

(A) Connections

Connections to available transportation modes, such as driveways, sidewalk, and bike paths shall be shown along adjacent streets and those entering adjoining parcels. Safe and convenient pedestrian ways shall be provided from sidewalks along streets to each building entrance, including pedestrian access routes across parking lots and between adjacent buildings within the same development. An existing or planned public transportation stop shall be coordinated with MARTA to determine the best placement along Mountain Industrial Boulevard or Hugh Howell Road, the access plan shall show how pedestrians may safely travel from stop to the subject parcel, the access plan shall show how safe, continuous and convenient bicycle access shall be provided to the subject parcel.

The Rise - Prototypical Regulatory Signage



III. ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES

DEVELOPMENT STANDARDS FOR OFFICE, RETAIL AND MIXED USE BUILDINGS

Ground-floor retail uses shall have entrances at grade opening directly onto the sidewalk or a space adjacent to the public sidewalk.

Canopies over retail and commercial entrances and/or windows shall be mounted at a single consistent height for each building.

The size of lease commercial space shall vary within each building to allow for diversity of tenants.

A minimum of sixty-five (65) percent of the ground-floor façade of mixed-use and commercial buildings shall be transparent to semi transparent glass storefront.

Pedestrian access shall be provided from parking behind buildings to the sidewalk through the ground floor of the building or via sidewalks between buildings.

DEVELOPMENT STANDARDS FOR MULTI-FAMILY BUILDINGS

Ground-floor residential units that face the street shall have entrances with a stoop or porch located off of the street or through a breezeway. A sidewalk or breezeway shall connect the ground floor entrances to the sidewalks and parking.

Multi-family buildings shall be set back a minimum of ten (10) feet from the back of curb. This area between the curb and the building façade shall

contain terraces, stoops, balconies, or landscaping. When possible locate HVAC units and other mechanical equipment where they can be hidden behind parapet walls.

ARCHITECTURAL CHARACTER

Allowable building materials are enumerated further under item (L) Building Materials Criteria. The following building materials shall be prohibited: vinyl or aluminum siding, exposed concrete block (CMU), exposed plywood, plastic or PVC.

Large buildings, longer than one hundred (100) continuous feet, shall vary the cornice height and create variations in façades with changes in façade depth, materials, textures, colors, and/or window and door patterns to provide visual interest and prevent a massive imposing appearance.

Building façades should promote architectural and visual interest. Any façade facing a street shall consist of openings including windows and doorways except where Fire Safety Codes prohibit.

Service areas, trash dumpsters, trash compactors and all other mechanical areas and equipment shall be screened from view. Screening shall be permitted to include landscaping and/or architectural treatment of color similar to the building, to screen the equipment.

Roof structures visible from the public may be sloped or flat. Sloped roofs shall be hip roofs of less than forty-five (45) degrees in pitch or gable roofs of at least thirty (30) degrees in pitch. Sloped roofs shall have overhangs of at least eight (8) inches on front façade and shall not exceed one hundred (100) feet in length without a change in plane. Permitted roofing materials for sloped roofs include

The Rise - Prototypical Mixed-use Architectural Character



asphalt or fiberglass shingles, solar shingles used with asphalt or fiberglass shingles, standing seam metal roof, ceramic tile, and slate or synthetic slate. Flat roofs shall have decorative and/or corbelled parapets on all sides visible from public and drain to internal roof drains and/or to the rear of the structure, limiting downspouts on façades along primary and secondary streets. Simple barrel vaults or roofs are allowable.

ARCHITECTURAL AND DESIGN CONTROLS

The Rise is committed to creating a standard of excellence with its design and using design quality materials to promote this design aesthetic. These Architectural Design Controls have been developed to provide design latitude and creativity in responding to the unique characteristics and constraints inherent to each purchaser/lessee. These guidelines establish a common point of departure for the benefit of all purchasers/lessees. The Rise will assist purchasers/lessees in achieving their brand recognition while meeting the architectural and aesthetic regulations included in these design guidelines.

Purchasers/lessees are encouraged to discuss specific thoughts about their design concepts and raise any questions with Master Development Association before beginning preliminary design work.

Any building images contained in this document are included for illustrative purpose only to help purchasers/lessees comply with the guidelines. Through the project development process, The Rise reserves the right to require revisions, addenda and amendments to the purchasers/lessees' design.

The requirements herein must be compliant with current building codes. Purchaser/lessee must

recognize that The Rise's design approval does not constitute a review for code compliance. Where The Rise's approval and/or comments and code conflict, the more strict of the two shall prevail.

(A) Massing

In general, buildings should relate in scale and proportion to other buildings in the area. However, buildings of different size can be made architecturally compatible through skillful design and careful orientation.

Building massing should be varied to create a logical hierarchy of building forms; to break up long expanses of façade; to create shade and shadow; and to create "human scale".

Freestanding retail buildings should contain multiple tenants or be designed to create the appearance of multiple tenants, storefronts, and entrances.

Human scale should be created by building massing form, as well as the use of architectural elements such as colonnades, canopies, walkways, street-level display windows, lighting, and a variety of building materials. Human scale should be further reinforced by site design features around the building exterior.

All non residential buildings should be the equivalent of two stories in height or twenty (20) feet. Parapets are considered an integral part of the building and as such, their height should be articulated to accentuate volumetric form.

Buildings three stories in height or over should

have a definite base, middle and top. The first level should be finished in a different material or different color of same material to create the appearance of a building base. Sign bands, cornices and other architectural detailing can be used to distinguish this level from the rest.

Stairs and balconies must be integral to building massing and are not to appear "tacked-on".

(B) Building Elevations

Images shown in index depict The Rise's general intent with respect to height, scale, articulation, rhythm, proportions and design elements. All buildings located within any given parcel must be architecturally compatible to complement one another by using similar exterior materials. However, individual architectural character is encouraged to expand on the eclectic design theme of The Rise.

(C) Exterior Walls

The elevations of predominate façades at The Rise will be articulated such that the expanses of solid walls exceeding twenty (20) linear feet will be avoided through the introduction of articulated façades and other specially designed architectural elements as follows:

- Change in material using offset planes to "kill" one material into another.
- Stepping façade: both vertically and horizontally using offset in vertical walls to create shadow patterns and in

parapet to create height differential.

- Banding and modulation to create interest through setting patterns and rhythms of building materials.

All elevations should contain materials from the Master Development Association for each District. Retail facing Hugh Howell Road and Mountain Industrial Boulevard should contain at least 50% of masonry from the MD.

External vertical wall surfaces (exclusive of windows and doors) of all shall be constructed with a minimum of fifty percent (50%) masonry materials (brick, stone, pre-cast or poured concrete or other masonry materials).

Add a wainscot of brick or stone to at least three (3) sides of the building or all visible sides.

(D) Façades

All sides of the retail building should be attractive if visible from street. Architectural details such as texture, pattern, color, and building form used on the front façade should be incorporated on all visible building façades. However, such requirements shall not apply to any façade(s) facing service courts or other areas generally not visible to the public.

Free standing retail buildings larger than 15,000 square feet in size should be designed with noteworthy architectural features to create human scale and to avoid a "big box" appearance. In many instances, such a design could create the appearance of

multiple tenants, storefronts, or entrances.

Building façades shall be staggered with recesses and projections, incorporating windows, colonnades, and major entry features/canopies to break up the visual expanse of flat walls.

A minimum fifty percent (50%) of any building façade facing internal access drives should have windows, awnings and arcades, or a combination thereof. False glass windows and display windows may be considered in meeting this requirement.

(E) Building Orientation

Buildings should be "street-oriented" to create a desirable pedestrian environment between the building and either a street or access drive. Street orientation must include a consistent building setback line of at least ten (10) feet from edge of curb.

On-site parking areas to be located on the side or rear of the building. Entrances, storefronts and display windows must face the street.

Buildings on corner lots must address and emphasize corners with curved or angled façades and landmark features.

(F) Canopies & Overhangs

Canopies are considered an integral element of the building design and the façade composition. Attention to proportion and detail is required.

Incorporate canopies/awnings above all storefronts. At least twenty percent (20%)

of the façades should be modulated by canopies or trellises at the ground areas. Deep awnings and light structural elements are preferred on southern exposure of street.

Window canopies and awnings should be of canvas or metal. Plastic canopies are prohibited.

Any drive-through canopies should be designed to be integral with the appearance of the building, with the "drive-through" appearance of the structure to be minimized as much as possible.

(G) Roof Lines

Retail commercial buildings shall use roof planes and mansard roof forms to avoid flat roof lines, where appropriate. Such buildings should incorporate variety in roof lines so that at most only twenty-five percent (25%) of the building roof appears to be flat.

Rooftop mechanical equipment on all buildings shall be screened with parapet walls, mansard roofs or penthouse-like tower structures.

Mansard roofs, and other visible sloped roofs should be metal or shingle style materials.

All air-conditioning units, mechanical equipment, etc., shall be shielded so that they shall not be visible from a point six (6) feet above the ground from any abutting road.

(H) Storefronts and Entries

Storefronts shall exhibit appropriate levels of distinction and authenticity in their design

and construction. Storefronts shall enrich the overall pedestrian experience. The purchaser/lessee's storefront glazing must be clear transparent glass.

If the purchaser/lessee requires transom glass over the storefront awnings, this glazing must be clear and allow visibility into the purchaser/lessee's space. All textured, patterned or obscure glazing must be reviewed and approved by the Master Development Association.

All commercial building entrances located within live work play mixed use, except those for fire exits and loading, will be connected directly to a sidewalk along a public street or to a private street/drive or to an open space by a 6 foot wide sidewalk.

(I) Windows

Include glazed openings in all elevations.

Exception: The service areas of restaurants or retail buildings do not require glass, however, wall surfaces must be articulated with recesses of similar scale to other glazed openings elsewhere on the building.

Store fronts shall contain doors and windows along the elevations which face the street. Opaque glazing may be utilized but shall not constitute more than twenty-five percent (25%) of the total glazed areas.

Tinted, reflective or spandrel glass are discouraged. Under certain special circumstances, these may be allowed pending the Master Development Association review.

(J) Green Walls

Green walls are a preferred solution to blank walls.

Green walls are to be treated as part of the landscape scheme of the site. Planting specifications must be submitted to the Master Development Association for review and approval. These specifications shall include irrigation program and seasonal maintenance schedule.

(K) Rear Service Areas

Rear service area doors must have small, tempered fire glass panels. Doors must be painted to match adjacent walls.

Exception: Roll up doors on buildings equipped with an adequately screened loading dock.

Detail rear elevation in such a way that utilities and services are accessible but screened. This includes but is not limited to: electrical meter boxes, fire valves, exterior ladders, etc.

Compost areas are to be concealed from public areas by use of landscape or a screen wall.

Loading docks and other services areas facing street or other public spaces, or visible from The Rise shall be prohibited unless incorporated into the building design and screened or located in a manner to not be readily visible.

(L) Building Materials Criteria

Material selection should be similar, but vary from parcel to parcel. See Outparcel Design Guidelines for specific material requirements

The use of sustainable, natural materials are encouraged. Artificial materials must be integrally tinted when manufactured, or stone.

1. Exterior (Façades) Vertical Walls - Shall be constructed with brick, stone, pre-cast or poured concrete, cementitious siding, cultured stone or stucco. Main façade shall incorporate at least two different materials.

2. Roofs - Vertical parapet walls shall be constructed of similar materials as façade for extension of height and modulation of façade. Sloped roofs shall be constructed of architectural tab shingle, composite shake/shingle or standing seam metal. Designers are encouraged to emulate barrel tiles or slate looks with improved industry materials. "Corrugated Tin" look is allowable for accent or stooped entry.

3. Glazing - Appropriate glass and window treatments are encouraged to enhance character of façade.

4. Trim - Use of accent materials are encouraged to add character and detail to façade. Use of water mark, corbels and banding accents to modulate building and help define building vernacular. Doorways and steps should be visually emphasized to announce entry points. Insets are encouraged for main doorways.

Areas generally not visible to the public shall be finished with stucco or EIFS, at minimum. Incorporate two blending colors to fifty percent (50%) of front and side elevations.

(M) Trash Enclosures

Design exterior trash receptacle to be inset into and an integral of the building design whenever possible or adjacent to the building wherever possible.

Freestanding remote trash receptacle areas are discouraged but are acceptable following certain criteria. See Site, Landscape and Hardscape Guidelines for more on this item.

(N) Outdoor Storage (Permanent)

Outdoor storage is prohibited.

(O) Outdoor Merchandise Displays

Displays must be in specially designed display areas. The design of these display area shall be integrated entirely into the appearance of the adjacent building and must provide a public amenity for people to congregate. Open trellises are encouraged as covers for these areas.

The display area must be encloseable with perimeter walls constructed of the same general materials as the primary building façade.

Merchandise within the outdoor display area visible from Hugh Howell Road or Mountain Industrial Boulevard should be mobile and

The Rise - Prototypical AI Fresco Dining Area



temporary. Displays to be stored inside after business hours.

(P) Antennas

Outside antennas, satellite dish or electronic devices shall be permitted if screened from public view and approved in writing.

(Q) Temporary Buildings and Signage

No tents and no accessory or temporary buildings or structures shall be permitted unless approved in writing.

The Rise may, upon request of purchaser/lessee, permit temporary construction facilities and signs related thereto during construction; provided, however, purchaser/lessee submits for approval the size, appearance and temporary location of such construction facilities and signs. All such temporary facilities and signs shall be further subject to any applicable City of Tucker codes and ordinances.

(R) Fast Casual Restaurants

Fast Casual dining and Food Hall establishments are encouraged to provide covered, outdoor spaces for el fresco dining.

Remote menu boards are allowed, however, these items should be tastefully located within landscaped areas. The intent is to achieve an understated look by surrounding with plantings.

SITE & LANDSCAPE DESIGN CONTROLS

The design intent is to create a comprehensive

landscaped district which has a sense of place that responds to the vernacular of the site's architectural style. The landscape is meant to unify the diverse architecture and building types with pedestrian and vehicular circulation areas, as well as the various uses throughout The Rise.

The overall goal of the landscape design guidelines is to provide an aesthetically pleasing environment for the stakeholders and users where they will view the entire property as a healthy and exciting experience.

(A) Roadways and Vehicular Circulation

All common area plantings will be approved by the Master Development Association. Parcel developers will be responsible for all other plantings and buffer plantings required within the various exterior spaces within their particular parcel.

A landscape strip from back-of-curb to edge of pedestrian sidewalks shall be encouraged in non retail environments.

All street tree sizing and spacing should be reflective of the approved landscape plans. All street tree plantings are to be approved by the Master Development Association.

Pedestrian crosswalks shall be provided for pedestrian circulation at a minimum width of six (6) feet within parking bays.

(B) Typical Parcel Development

Preservation of Trees

The Master Development Association encourages the purchaser/lessee to preserve

The Rise - Prototypical Landscape Features



significant stands of trees or other vegetation whenever possible.

In order to protect significant stands of trees during construction, no parking of cars or construction equipment, no earth-moving operations, no grading, no storage of materials shall be allowed below and within the drip line of such stands.

Temporary barriers shall be placed at the drip lines prior to clearing and grading operations and these barriers shall be maintained in place for the duration of the construction project.

(C) Property Buffers and Setbacks

A minimum setback of fifty (50) feet shall be maintained where the property of The Rise abuts a residential use of re-zoning.

Landscape strips shall be planted with an assortment of shade trees, evergreen trees, shrubs and ground cover. Coordination between adjacent parcels is encouraged.

(D) Entry

Landscape material at entries is intended to provide a sense of arrival and beautification through the use of evergreen trees, flowering trees, clusters of low-height shrubbery, and accent color plant material. Landscape material at parcel periphery shall be in accordance with the required approved plant palette.

Plant material shall be of the character for the desired theme within the town center development.

Evergreen, upright trees at entries are encouraged for their year round interest while serving as a visual cue and sense of arrival for pedestrian and vehicular traffic. Plant material at each entry shall be coordinated with the designed signage and/or monument. Plant material needs to highlight, flank, front, and provide a backdrop for entry signage.

(E) Parking Lots

In all parking areas located in the front yard, and the side yards of corner lots, the parking areas shall be subdivided by islands containing trees and/or other landscape materials. Islands shall be located at the ends of parking bays and at intervals internal to the parking area.

Within parking areas and in adjacent curbed planting areas, there shall be at least one shade tree with a minimum caliper of 3"-3.5" inches per every forty-five (45) feet on center. With a minimum ground area of four (4) feet by four (4) feet surrounding the tree. Or, landscaped strips can be placed along the centerline of double parking mega zones with two 3"-3.5" caliper trees in size planted and aligned with parking stripe at forty-five (45) feet O.C.

Pervious curbless counter island medians are encouraged to improve water quality of storm water runoff.

Use of a single tree species within the parking areas is encouraged.

Use evergreen hedge no less than thirty inches (30") height at time of planting and/or

a low masonry wall if necessary.

All parcels adjacent to Hugh Howell Road and Mountain Industrial Boulevard must provide pedestrian access off of public sidewalks and off of pedestrian circulation corridors adjacent to the property with no less than a six (6) foot wide sidewalk connection. All pedestrian corridors must be well lit with appropriate crosswalks (if needed) in a safe and secure manner.

Each purchaser/lessee will be required to conduct regular program of cleaning all parking lots, access drives and sidewalk surfaces.

(F) Detailed Landscape Plan

All plant materials should meet the American Standard for Nursery Stock or appropriate local tree standards.

Typically, all micro lawn areas with high volume usage are encouraged to be synthetic turf. Zoysia or Bermuda grass are recommended for larger open lawn areas where usage is more dispersed and natural looks is desired.

(G) Trash, Recycling, and Service Areas

Dumpster enclosures are to be screened on three sides by masonry walls or other designed enclosures approved by the Master Development Association. Enclosures in view of public streets and abutting properties shall be fully enclosed with a solid wall with solid metal gates.

Masonry screening walls are to be no

less than six (6) feet and are to match the materials and style of the building architecture.

Evergreen trees and/or large shrubs are required in order to provide proper visual screening.

The area of trash enclosure for a site or business shall be sized using dimensions, which relate to the size and use of the principal building and as approved by the Master Development Association.

Loading, service and equipment areas should be screened with solid wall from public roadways and public.

All service entrances, dumpsters and loading facilities should be located in the least visible location, and should be fully screened from both the street and any neighboring parcels.

(H) Utilities

All utility connections, including electrical and telephone service shall be made underground from the nearest available source. Transformers, service cabinets, or other similar above ground equipment shall be located out of the front yard or main, front view of the building whenever reasonably possible. These installations shall be screened from view by landscape materials, berms, fences (no chain link fence can be used) or walls as permitted by the installing utility.

(I) Maintenance of Unimproved Sites

Parcels that are not improved or built upon

The Rise - Prototypical Site Furnishings



shall be maintained in a neat and clean appearance by the property/lessee.

Ground level vegetation should be cut on a regular basis so that the vegetation height never exceeds eight (8) inches.

(J) Installation and Timing

All landscaping must be completely installed within 30 days from the date of the Substantial Completion of the permanent structure and completely installed before a Certificate of Occupancy will be issued. All landscape installation must be approved by the Master Development Association.

The time of completion for total landscape installation may be extended due to adverse weather conditions or other causes beyond reasonable control. All extensions must be approved by the Master Development Association.

(K) Fencing

Aluminum Fencing

Aluminum or ornamental fencing is encouraged for security purpose only where needed. Where visible from public decorative masonry columns complimentary of the architecture in should be spaced evenly along fence line.

No chain link fence is permitted adjacent and visible to public or adjacent outparcels except as allowed by Dekalb County Schools.

(L) Plant Palette

Plant Material

All plant material should meet the specifications outlined by the American Standard for Nursery Stock.

The following suggested plant material is strongly recommended. Any additional plant material must be approved by the Master Development Association.

The design intent is to select hardscape materials which compliment the vernacular of the architecture as well as the characteristics and sense of place at The Rise. The selection of hardscape materials in pedestrian and vehicular locations can help direct the user, compliment the spaces, and further enhance the overall experience.

(M) Paving And Materials

The decorative paving is encouraged within the project. Suggested finishes and products include concrete pavers, brick pavers or natural stone suitable for outdoor/pedestrian application. Colors should be complimentary of proposed building materials.

Decorative paving is to be used in highly trafficked pedestrian areas, crosswalks, and building entries. Brick accent paving is strongly encouraged.

The use of decorative pavers or exposed aggregate in vehicle drop-off locations is encouraged.

(N) Site Furnishings

Site furnishings play an integral role in providing and promoting a sense of place and friendly environment for the community's users. The design intent is to provide various seating options, bicycle racks, receptacles, planter pots, lights, bollards, and fencing that enhance the architecture, landscape, and hardscape elements at The Rise. Site furnishings are meant to provide the most pedestrian friendly uses and functions in order to enhance the overall experience of the user. See individual district booklets for site furnishing requirements and recommendations.

(O) Lighting

Statement of Purpose

Lighting sets the tone for all of The Rise and serves to enhance the nocturnal atmosphere by creating inviting spaces and experiences. It also functions as an integral element of wayfinding systems by creating a sense of safety and well-being. Outdoor lighting techniques at The Rise should accent architecture, entries, hardscape and plant features in the landscape. The thoughtful application of lighting techniques will add value to property from a safety and security standpoint.

General Characteristics

Designers should acknowledge and adhere to the following general lighting principles affecting all outdoor lighting at The Rise

- Accent lighting of building

facades, signage and entry drives is encouraged.

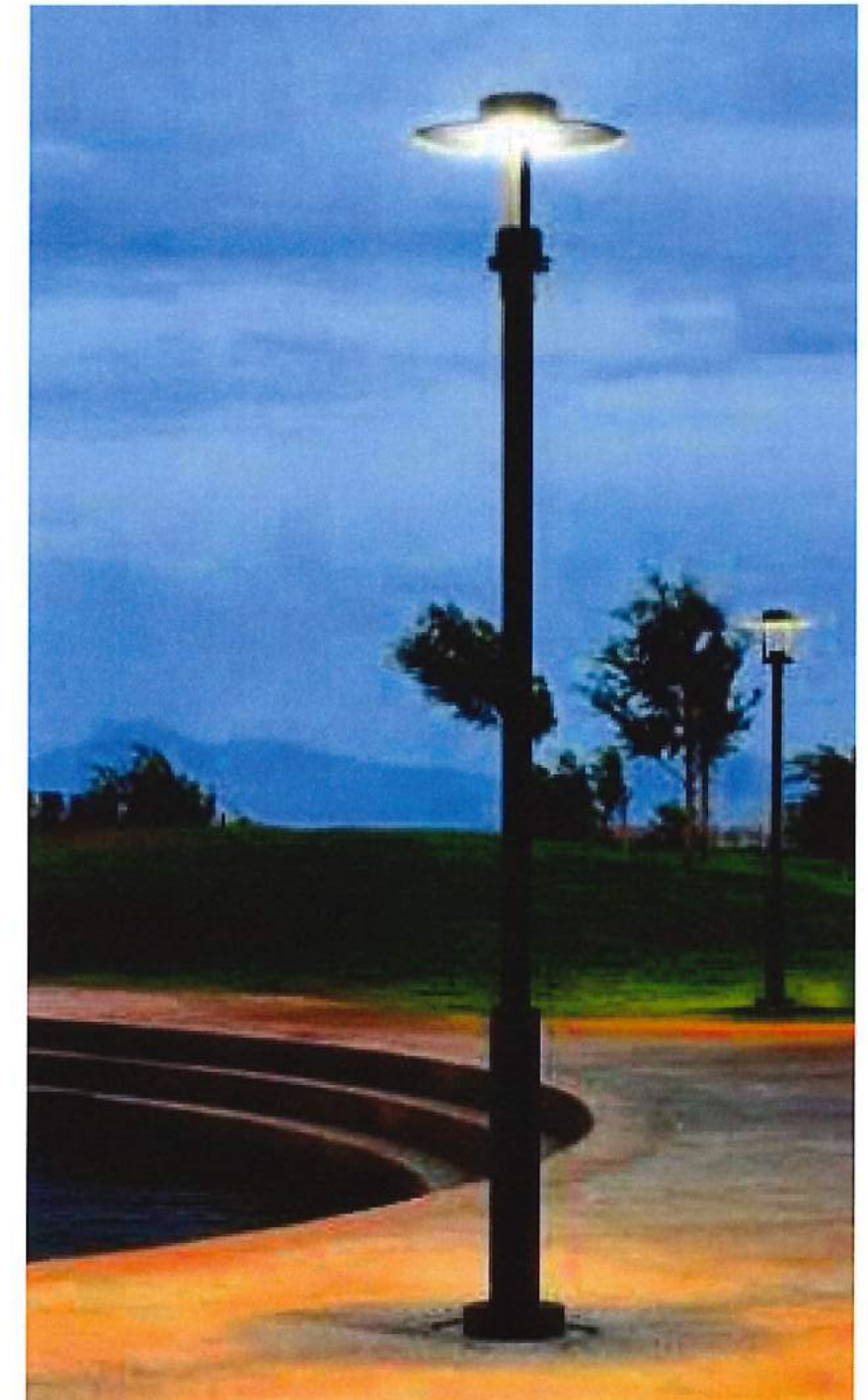
- Accent lighting will be indirect in character.
- Site and accent lighting shall be coordinated with the landscape design.
- Building mounted floodlights will not be permitted except for internally protected service court areas or emergency lighting.
- No lighting design or fixture shall be directed at the public right of way that would be a nuisance to abutting properties.
- All lighting shall have LED lamps where practical.

Site Lighting

Overall Site lighting at The Rise sets the ambience for nighttime outdoor activities, accentuates paths and roadways, and creates safe conditions. The following items are important components to successful site lighting:

- All parking lots shall be lighted utilizing a shoebox type fixture on a high pole. Fixture shall be LED.
- Parking lot fixtures shall be spaced so as to provide light evenly distributed throughout the lot.

The Rise - Prototypical Architectural Lighting



- Parking lot light fixture design shall be consistent within each district.
- Maintain minimum of twelve (12) foot candles at all public areas.

Pathways and Pedestrian Lighting

- A street and pedestrian lighting program has been established for all public rights-of-way as an integral part of the streetscape.
- Pedestrian pole lights are to be furnished, installed and maintained by Master Development Association.
- Pedestrian lighting shall be mounted at a height of twelve (12) feet to the bottom of the fixture.
- Fixtures may be mounted on either freestanding poles or brackets on building facades.
- Appropriate lighting shall be provided to ensure that pathways are safe at night
- On-site lighting is to follow roadways and be spaced evenly between street trees.

Landscape Lighting

Landscape lighting plays a critical role in enhancing lush greenery. Landscape lighting shall be used to enhance plant material along roadways, pedestrian corridors and adjacent to buildings and signage.

The following lighting techniques are encouraged at landscaped areas, including plant groupings and special landscape features:

- bullet lighting on trees
- canopy down lights (moon-lighting)
- decorative lanterns at tree canopies
- concealed up lights
- ambient landscape lighting
- el fresco lighting at outdoor terraces and enclosures

Bollards

Bollard location is to be coordinated with overall roadway design.

Building Lighting

A cohesive design language reflecting the individual districts shall be reflected in the design of all visible building lighting elements. Building lighting in the form of sconces, up lights, cove lights, and ornamental fixtures can define and enhance the building massing and color.

- Pedestrian lighting shall be mounted at a height of 12 feet to the top of the pathway.
- Fixtures may be mounted on brackets on the building facades.

The Rise - Prototypical Nightlighting Character



- Appropriate lighting shall be provided to ensure that pathways are safe at night.
- Lamps and fixtures used to illuminate a wall sign shall not project into required yard more than two (2) feet beyond building walls and shall have a minimum clearance of ten (10) feet from grade.
- The following lighting techniques are encouraged at entry canopies: Down lights, decorative lanterns, concealed up lights, ambient lighting.
- Concealed accent lighting at building façades is encouraged to emphasize accent features and focal points such as towers and portals.
- Encouraged materials for visible building light fixtures include: wrought iron and glass, painted metal, and aged metals.
- Exterior lights shall be conservative in design and as small in size as is reasonably practical
- Exterior lighting shall be directed towards the pathways and be of low wattage to minimize glare sources to neighbors and adjacent structures.
- Lighting for walkways generally must be directed towards the ground. Lighting fixtures shall be dark colored so as to be less obtrusive.

- Low voltage (12 volts) lighting is preferable to conventional house voltage systems because of its safety advantages.
- Multi-colored lights are prohibited, except temporary holiday decoration.

IV. PLANS APPROVAL PROCESS

Design review is encouraged prior to submittal of Land Disturbance Permit with The City of Tucker. Parcel developers should coordinate with Master Development Association Review in conjunction with City Staff. Not following schedule may result in delay for obtaining LDP.

(A) Plans Approval Required Certificate of Compliance

No building permit or building land disturbance permit shall be issued with The Rise until the applicant for such a permit has submitted plans and other illustrations exhibiting compliance with these guidelines to The City of Tucker and that all requirements of these guidelines are met to the satisfaction of designee.

Prior to the issuance of any land-disturbance permit, building permit, or sign permit, the applicant shall submit a design package to the Community Development Director. The final design package must include full architectural and landscape architectural plans and specifications. The submitted plans must include a site plan, architectural elevations and sections; renderings depicting the building design including elevations and architectural details of proposed buildings,

exterior materials and colors, and plans and elevations of all hardscape, landscape and signs, all of which shall demonstrate that the proposed design is in compliance with all the requirements of The City of Tucker.

(B) Initial Design Review Package

Submitted as a supplement to land disturbance and permit or building permit. The Design Review package shall be composed of the following:

Three (3) copies of a site plan drawn to a designated scale of not less than one inch equals thirty feet (1"=30'), certified by a professional landscape architect of this state and three (3) 11x17 inch plans.

Initial design review can be done with a preliminary package for cursory review by designer of The City of Tucker. Such plan shall contain the following information:

- Boundaries of the parcel and contact of the entire property proposed to be included in the development, with bearings and distances of the perimeter property lines;
- Scale and north arrow, with north, to the extent feasible, oriented to the top of the site plan and on all supporting graphics;
- Location, size and dimensions in length and width of all landscaped areas, transitional buffers, and open space;

- Proposed topography with a maximum contour interval of two (2) feet.
- Delineation of all jurisdictional areas to include EPD, USACOE, and FEMA for wetlands, flood plain and storm buffers.
- Location of all proposed uses, lots, buildings, building types and building entrances;
- Height and setback of all buildings and structures;
- Areas, parcel sizes and development density for each type of proposed use;
- Location, size, and number of all on-street and off-street parking spaces, including a shared parking analysis, if shared parking is proposed;
- Identification of site access points and layout, width of right-of-way and paved sections of all internal streets;
- Conceptual plans for drainage with approximate location and estimated size of all proposed storm water management facilities and a statement as to the type of facility proposed;
- Areas to be held in joint ownership, common ownership, or common control;
- Location of proposed sidewalks and bicycle facilities trails, recreation areas, parks, and other public or community uses, facilities, or structures on the site;

- Conceptual layout of utilities and location of all existing or proposed utility easements having a width of ten (10) feet or more;
- Landscape plan to include location, extent, and standard details of signs, sidewalks, streetlights, driveways, medians, curbs and gutters, planting plans, walls, fencing, street furnishings, bicycle lanes, streets, alleys, and other details demonstrating compliance with The City of Tucker zoning ordinances.

(C) Multimodal Access Plan

Prepared at the scale of the engineers drawings, to demonstrate a unified plan of continuous access to and between all structures in the proposed development and adjacent properties where connections are appropriate. The multimodal access plan shall cover the entire proposed development along with public rights-of-way of adjoining streets and any other property lying between the subject property and any primary or secondary streets. Safe and convenient pedestrian pathways shall be provided from sidewalks along streets to each structure entrance, including pedestrian access routes across parking lots and between adjacent buildings within the same development.

(D) Final Design Package Review And Approval Process

Architectural plans package must include full architectural and landscape architectural plans. The submitted plans must include a site plan, architectural elevations and sections; renderings depicting the

building design including elevations and architectural details of proposed buildings, exterior materials and colors, and plans and elevations of all hardscape, landscape and signage, all of which shall demonstrate that the proposed design is in compliance with all requirements of The City of Tucker or The Rise Development Standards and Architectural Guidelines. The final design package must be signed and sealed by a professional architect/landscape architect. The final design package must contain all plans, elevations, sections and specifications necessary for obtaining development and building permits. The applicant may submit the final design package simultaneously with the submission for permitting.

V. INDEX**REPRESENTATIVE PANELS OF ARCHITECTURAL CHARACTER**

2 Story Office Above Retail
Two Family Dwelling - Cottages
Smoke Rise Elementary School
Grocery
Supportive & Non-Supportive Living
Entry High Howell Road
Entry Mountain Industrial Boulevard
Site Section Key
Site Sections A, B&C





View of Main Entry



View of Playground from Parking Lot



View from Bus Loading Area



View of Main Entry



View of Courtyard











