

**COMPATIBILITY OF NEW AND EXISTING SUBDIVISIONS**

**AVERAGE PERIMETER LOT WIDTH EXCEEDS 80% OF ADJACENT LOTS**

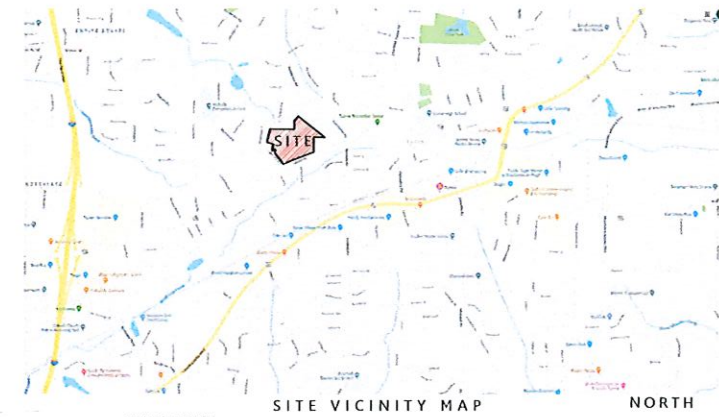
Total Width at rear building line along 22 adjacent lots - 2690 linear feet  
 Average rear lot width along rear setback of adjacent lots -  $2690/22=122.27'$   
 $122.27 \times 80\% = 97.8'$  for average new lot width along rear setback

**12 PROPOSED LOTS ALONG REAR PROPERTY LINE ADJACENT LOTS**

Total length of 40' rear setback on these lots - 1240'  
 Average rear lot width along rear setback -  $1240/12 = 103.33'$

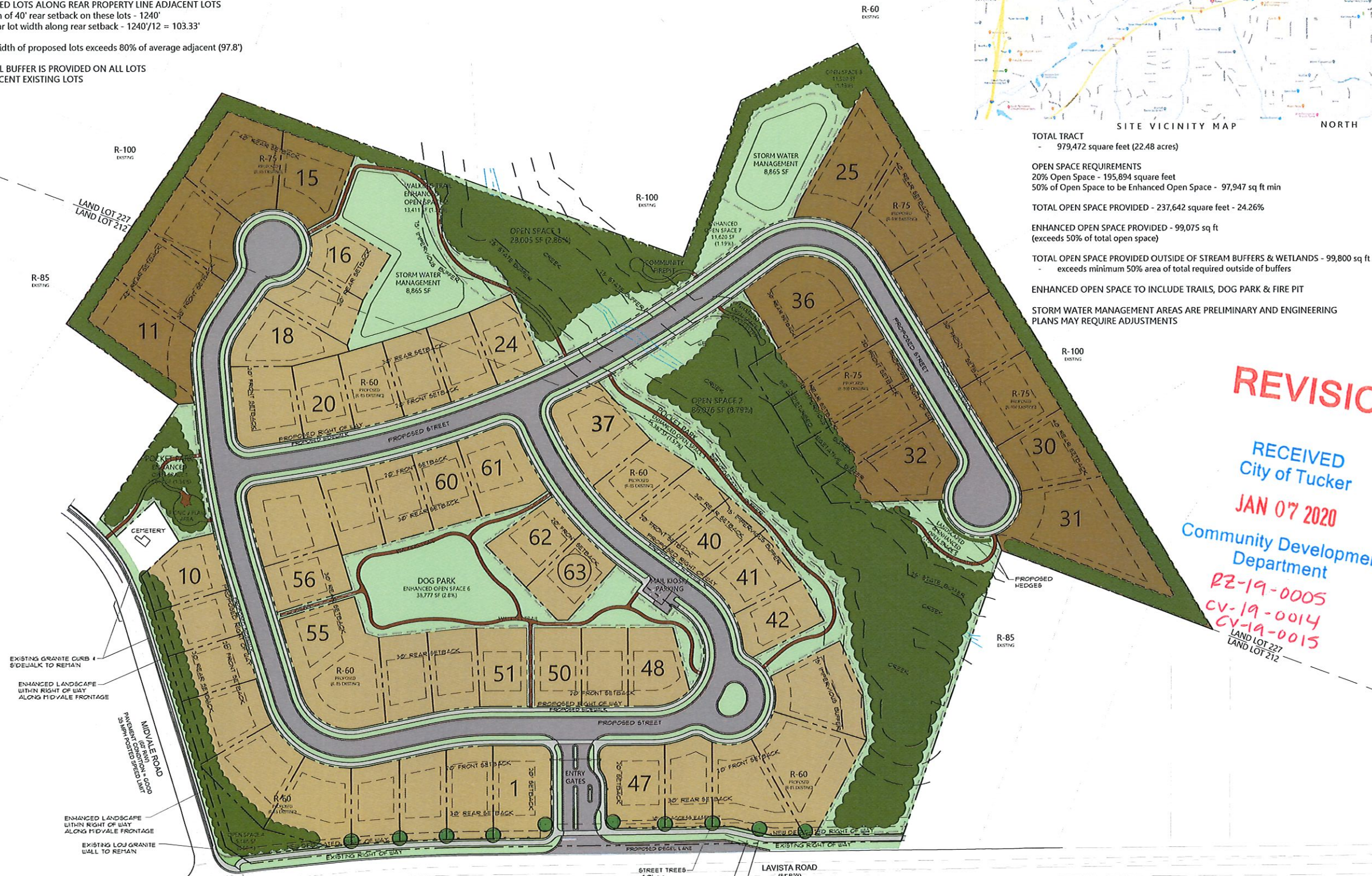
103.33' average width of proposed lots exceeds 80% of average adjacent (97.8')

20' TRANSITIONAL BUFFER IS PROVIDED ON ALL LOTS THAT ABUT ADJACENT EXISTING LOTS



SITE VICINITY MAP NORTH

- TOTAL TRACT - 979,472 square feet (22.48 acres)
- OPEN SPACE REQUIREMENTS
  - 20% Open Space - 195,894 square feet
  - 50% of Open Space to be Enhanced Open Space - 97,947 sq ft min
- TOTAL OPEN SPACE PROVIDED - 237,642 square feet - 24.26%
- ENHANCED OPEN SPACE PROVIDED - 99,075 sq ft (exceeds 50% of total open space)
- TOTAL OPEN SPACE PROVIDED OUTSIDE OF STREAM BUFFERS & WETLANDS - 99,800 sq ft - exceeds minimum 50% area of total required outside of buffers
- ENHANCED OPEN SPACE TO INCLUDE TRAILS, DOG PARK & FIRE PIT
- STORM WATER MANAGEMENT AREAS ARE PRELIMINARY AND ENGINEERING PLANS MAY REQUIRE ADJUSTMENTS

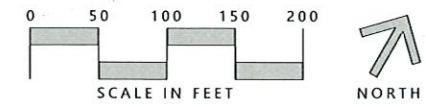


**REVISION**

RECEIVED  
 City of Tucker  
 JAN 07 2020  
 Community Development  
 Department  
 R2-19-0005  
 CV-19-0014  
 CV-19-0015  
 LAND LOT 227  
 LAND LOT 212

EXISTING GRANITE CURB & SIDEWALK TO REMAIN  
 ENHANCED LANDSCAPE WITHIN RIGHT OF WAY ALONG MIDVALE FRONTAGE  
 ENHANCED LANDSCAPE WITHIN RIGHT OF WAY ALONG MIDVALE FRONTAGE  
 EXISTING LOU GRANITE WALL TO REMAIN

PROPOSED DEVELOPMENT TO UTILIZE PUBLIC WATER. ACCESS LOCATIONS TO BE DETERMINED.



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RENDERED SITE PLAN

LAVISTA & MIDVALE PROPERTY  
 TUCKER, GA  
 BETANCOURT CONSTRUCTION

JANUARY 7, 2020

SHEET L - 0.1



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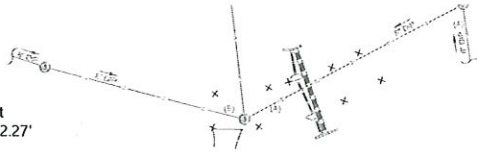
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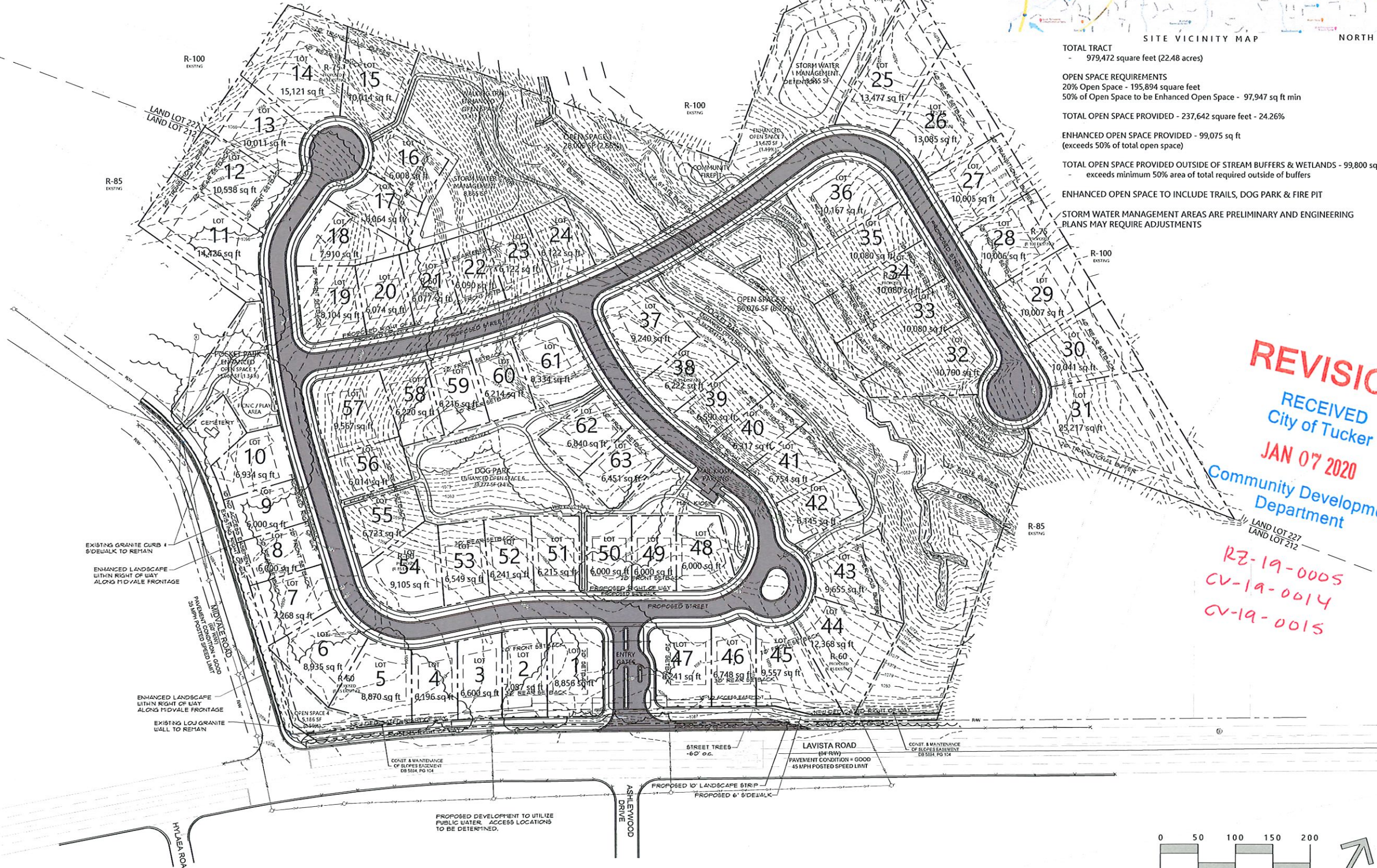
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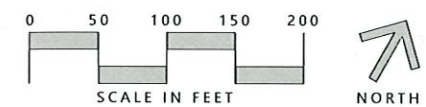
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