

TOTAL TRACT
 - 979,472 square feet (22.48 acres)

PROPOSED R-75 ZONING
 - 480,832 square feet (11.04 acres)

PROPOSED R-60 ZONING
 - 487,367 square feet (11.18 acres)

PROPOSED LAVISTA ROAD RIGHT OF WAY DEDICATION
 - 11,273 square feet (0.26 acres)

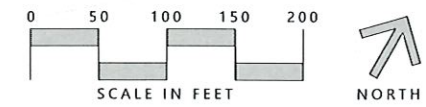
BARCLIFF ASSOCIATES
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 3524 SUNDERLAND WAY NE
 ATLANTA, GEORGIA 30319



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 R-100
 EXISTING

ZONING DELINEATION PLAN
 LAVISTA & MIDVALE PROPERTY
 TUCKER, GA
 BETANCOURT CONSTRUCTION



COMPATIBILITY OF NEW AND EXISTING SUBDIVISIONS

AVERAGE PERIMETER LOT WIDTH EXCEEDS 80% OF ADJACENT LOTS

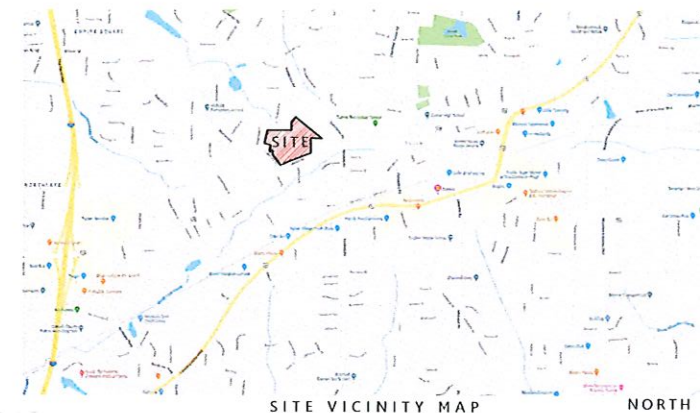
Total Width at rear building line along 22 adjacent lots - 2690 linear feet
 Average rear lot width along rear setback of adjacent lots - $2690/22=122.27'$
 $122.27 \times 80\% = 97.8'$ for average new lot width along rear setback

12 PROPOSED LOTS ALONG REAR PROPERTY LINE ADJACENT LOTS

Total length of 40' rear setback on these lots - 1307'
 Average rear lot width along rear setback - $1307/12 = 108.9'$

108.9' average width of proposed lots exceeds 80% of average adjacent (97.8')

20' TRANSITIONAL BUFFER IS PROVIDED ON ALL LOTS THAT ADJACENT EXISTING LOTS



SITE VICINITY MAP NORTH

- TOTAL TRACT - 979,472 square feet (22.48 acres)
- OPEN SPACE REQUIREMENTS
 20% Open Space - 195,894 square feet
 50% of Open Space to be Enhanced Open Space - 97,947 sq ft min
- TOTAL OPEN SPACE PROVIDED - 235,500 square feet - 24.0%
- ENHANCED OPEN SPACE PROVIDED - 98,000 sq ft (exceeds 50% of total open space)
- TOTAL OPEN SPACE PROVIDED OUTSIDE OF STREAM BUFFERS & WETLANDS - 101,000 sq ft - exceeds minimum 50% area of total required outside of buffers
- ENHANCED OPEN SPACE TO INCLUDE TRAILS, DOG PARK & FIRE PIT
- STORM WATER MANAGEMENT AREAS ARE CONCEPTUAL AND ENGINEERING PLANS MAY REQUIRE RELOCATION

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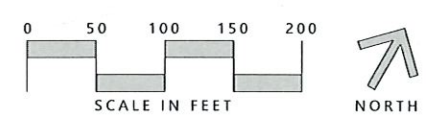
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RENDERED SITE PLAN

LAVISTA & MIDVALE PROPERTY
 TUCKER, GA
 BETANCOURT CONSTRUCTION

NOVEMBER 15, 2019

SHEET L - 0.1



COMPATIBILITY OF NEW AND EXISTING SUBDIVISIONS

AVERAGE PERIMETER LOT WIDTH EXCEEDS 80% OF ADJACENT LOTS

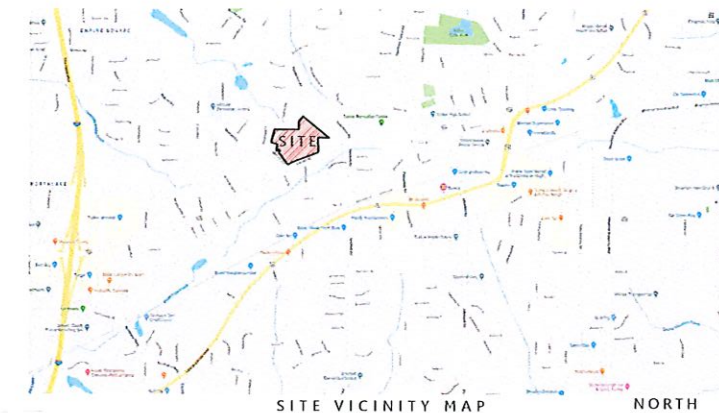
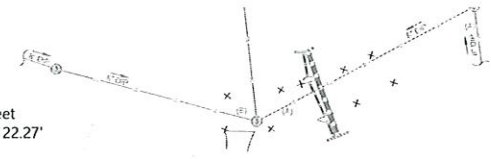
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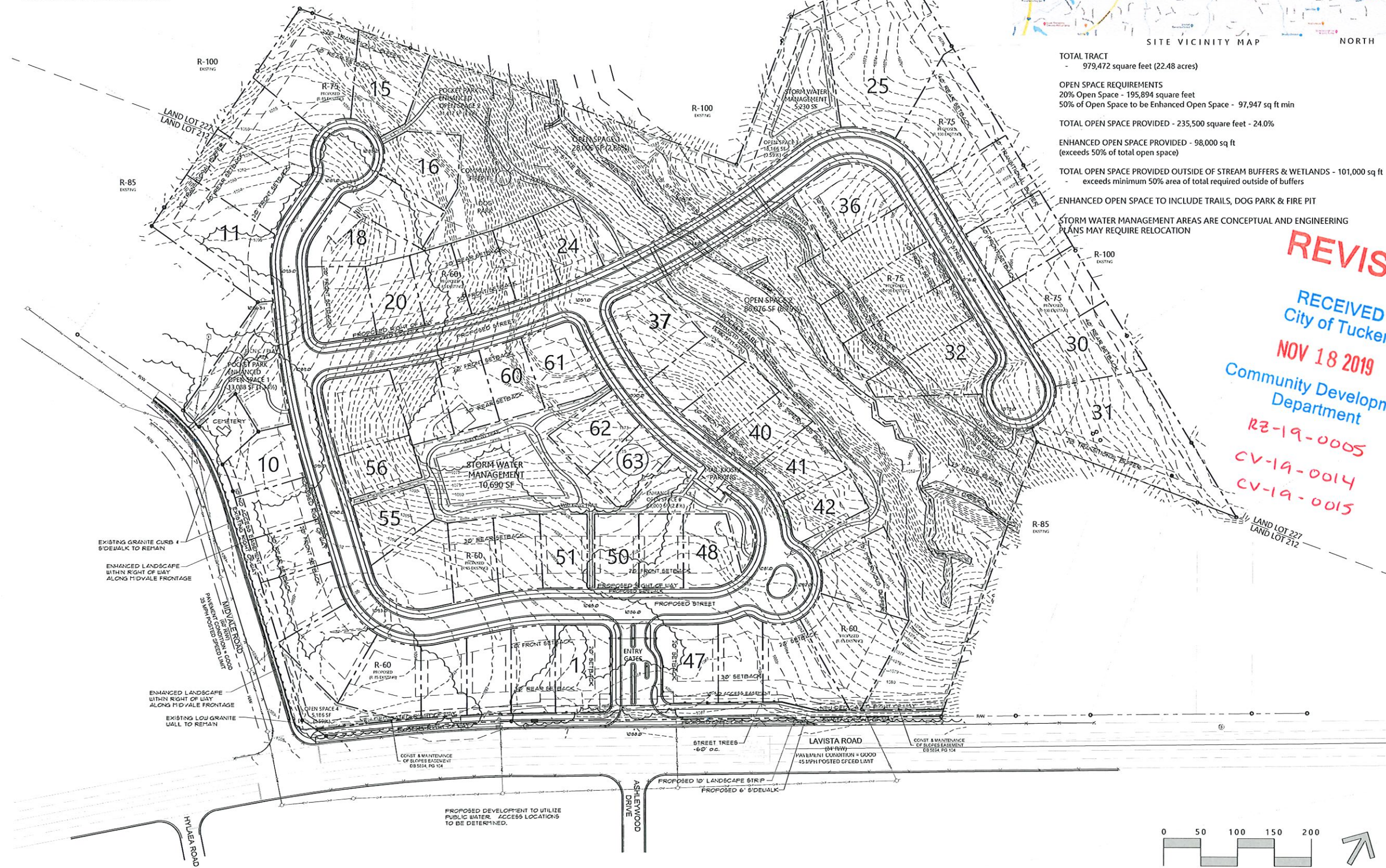
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STORM WATER MANAGEMENT AREAS ARE CONCEPTUAL AND ENGINEERING PLANS MAY REQUIRE RELOCATION



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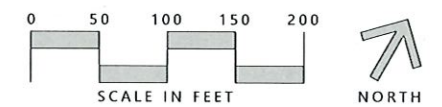
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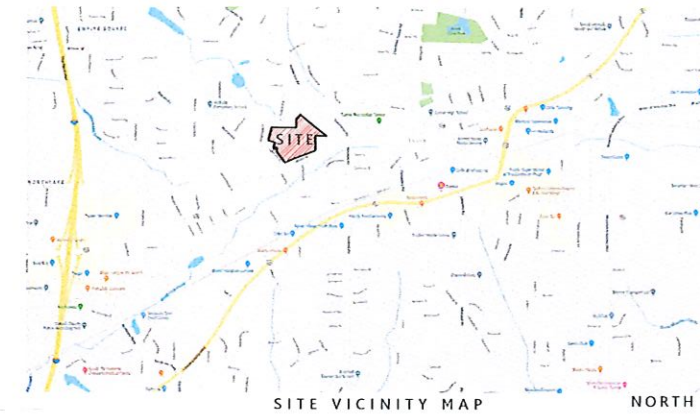
SITE PLAN

LAVISTA & MIDVALE PROPERTY
 TUCKER, GA
 BETANCOURT CONSTRUCTION

NOVEMBER 15, 2019

SHEET L - 1





SITE VICINITY MAP NORTH

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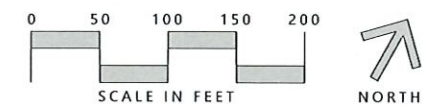


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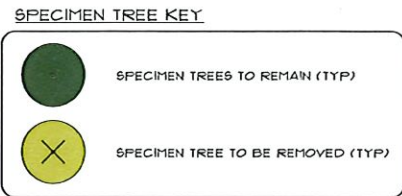
SITE PLAN - LOT AREA AND DIMENSIONS

LAVISTA & MIDVALE PROPERTY
 TUCKER, GA
 BETANCOURT CONSTRUCTION

NOVEMBER 15, 2019



SHEET L - 1.1



TREE TABLE			
POINT #	DIA	DESC	NOTE
10002	30"	HW	
10019	33"	EV	
10108	33"	HW	
10154	34"	HW	
10161	36"	HW	
10166	34"	HW	
10169	31"	EV	
10184	33"	EV	
20820	36"	HW	
20875	38"	HW	
21037	38"	HW	
21059	32"	HW	
21074	34"	HW	
21075	32"	HW	PROBABLE DDH
21077	33"	HW	
21092	30"	HW	
21188	34"	HW	
21189	34"	HW	
21191	30"	HW	
21192	32"	HW	
30441	32"	HW	
30442	35"	HW	
30521	31"	HW	OAK
30548	31"	HW	
30554	30"	EV	PINE
30557	34"	HW	
30697	34"	HW	
30889	31"	HW	OAK
30931	30"	EV	PINE
31009	30"	EV	PINE
31022	41"	HW	
31024	30"	HW	
31025	37"	HW	
31027	48"	HW	
31028	40"	HW	
31030	48"	HW	
31072	32"	EV	
31098	36"	HW	
31099	40"	HW	
31181	32"	HW	
31227	35"	HW	
31277	40"	HW	
31305	32"	HW	
31307	41"	HW	
31319	33"	HW	
31341	30"	HW	
31521	37"	HW	
31553	34"	HW	

TREE TABLE			
POINT #	DIA	DESC	NOTE
31556	30"	HW	
31599	34"	HW	
31614	30"	HW	
31634	40"	HW	
31653	30"	HW	
31693	40"	HW	
31696	35"	HW	
31715	30"	HW	
31740	30"	HW	
31781	41"	HW	
31794	30"	HW	
31874	33"	HW	
31924	30"	HW	
31929	45"	HW	
31937	33"	HW	
31944	41"	HW	
31948	30"	EV	
31958	37"	HW	
31959	40"	HW	
31962	34"	EV	
32313	50"	HW	
32315	44"	HW	
32317	40"	HW	MAGNOLIA
32318	48"	HW	
32331	44"	HW	
32333	34"	HW	
32336	37"	HW	
32337	37"	HW	
32339	40"	HW	
40018	32"	HW	

TREE TABULATIONS
 80 TREES ON TREE CHART
 44 TOTAL SPECIMEN TREES SAVED
 28 TOTAL SPECIMEN TREES REMOVED
 6 BOUNDARY TREES



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SPECIMEN TREE PLAN

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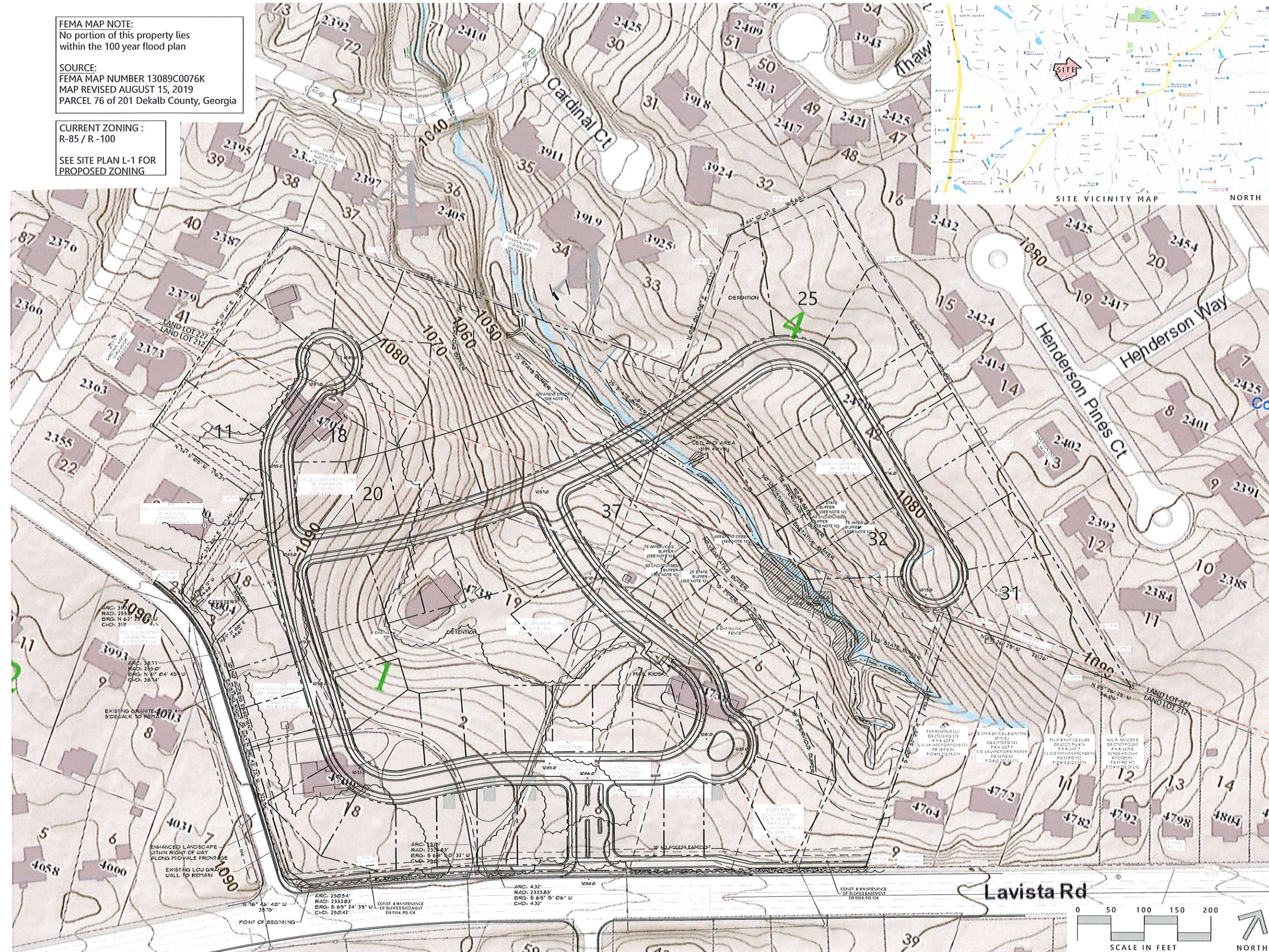
SHEET L - 1.2

FEMA MAP NOTE:
No portion of this property lies within the 100 year flood plan

SOURCE:
FEMA MAP NUMBER 13089C0076K
MAP REVISED AUGUST 15, 2019
PARCEL 76 of 201 DeKalb County, Georgia

CURRENT ZONING :
R-85 / R -100

SEE SITE PLAN L-1 FOR
PROPOSED ZONING



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SITE ANALYSIS PLAN
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BETANCOURT CONSTRUCTION

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SHEET L - 2

