

PROJECT CONTACTS table with columns for Seller/Architect, Engineer, Civil Engineer, Architect, and Land Surveyor.

SITE DEVELOPMENT PLANS FOR:

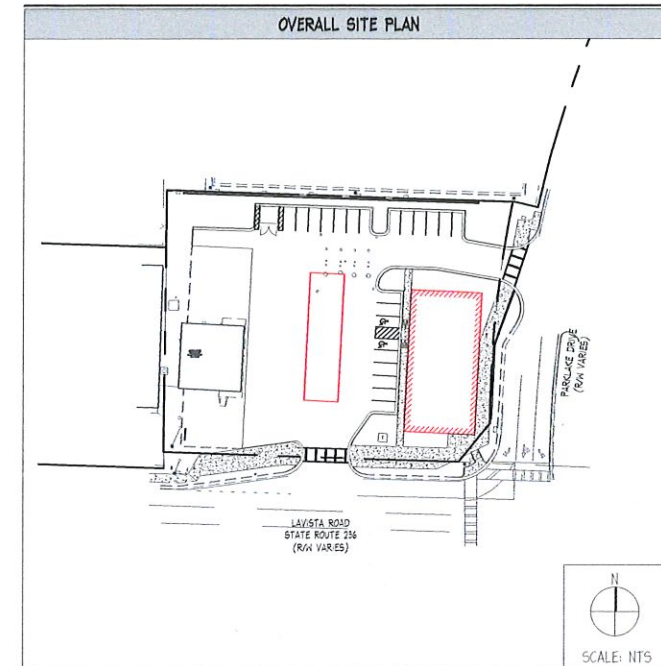
SHELL STATION
4118 LAVISTA ROAD
LAND LOT 210, DISTRICT 18,
DEKALB COUNTY, TUCKER, GEORGIA

PREPARED BY:



PREPARED FOR:

BLACKWATER CONSTRUCTION
2180 SATELLITE BLVD, SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453



ingenium ENTERPRISES
PLANNING & ENGINEERING
218 SATELLITE BLVD, SUITE 400
ALPHARETTA, GA 30009
PHONE: 770-437-8650

CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL LOCAL, STATE, AND FEDERAL CERTIFICATION AND LICENSING REQUIREMENTS FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: LAND DISTURBANCE PERMITS, BUILDING PERMITS, DEMOLITION PERMITS, NPDES PERMITS, DEWATERING PERMITS, ETC.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS, COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

CONTRACTOR SHALL NOTIFY THE GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL WITHIN 24 HOURS UPON COMPLETE INSTALLATION OF INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs. THE GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL MUST INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.

THE GEOTECHNICAL INVESTIGATION PREPARED BY NAME, DATED DATE AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.

NPDES BMP AND SITE VISIT CERTIFICATION

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT...

DEKALB COUNTY WATER AND SEWER NOTES

- 1. ALL DESIGN & CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LIFT STATIONS & BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT STANDARDS...

NPDES ESPC PLAN CERTIFICATION

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT...

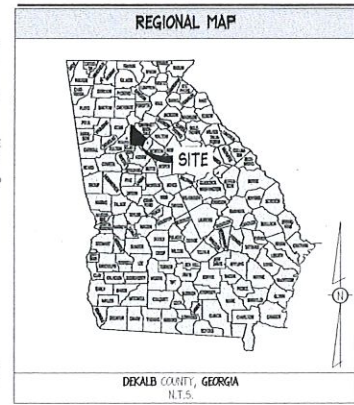
OWNER CERTIFICATION

I CERTIFY THAT THE RECEIVING WATER(S) OR THE OUTFALL(S) OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S) WILL BE MAINTAINED IN ACCORDANCE WITH THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN...

CONSTRUCTION ENTRANCE LOCATION
LATITUDE:
LONGITUDE:



24-HOUR CONTACT:
MR. IMRAN NIAZI
(678) 713-4453



SITE INFORMATION

JURISDICTION: TUCKER, GEORGIA
DEKALB COUNTY
ZONING: NL-1 (NORTHLAKE HIGH INTENSITY COMMERCIAL DISTRICT)
REQUIRED BUILDING SETBACKS:
FRONT: PARKLANE DRIVE - BUILDING MUST BE WITHIN 20' OF RIGHT-OF-WAY...

THESE DEFICIENCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

RECEIVED
City of Tucker

OCT 18 2021

Community Development
Department

SHEET INDEX table listing titles and sheet numbers from CO1.0 to LP501.

4118 LAVISTA ROAD
TUCKER, GEORGIA

CLIENT:
BLACKWATER CONSTRUCTION
2180 SATELLITE BLVD, SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

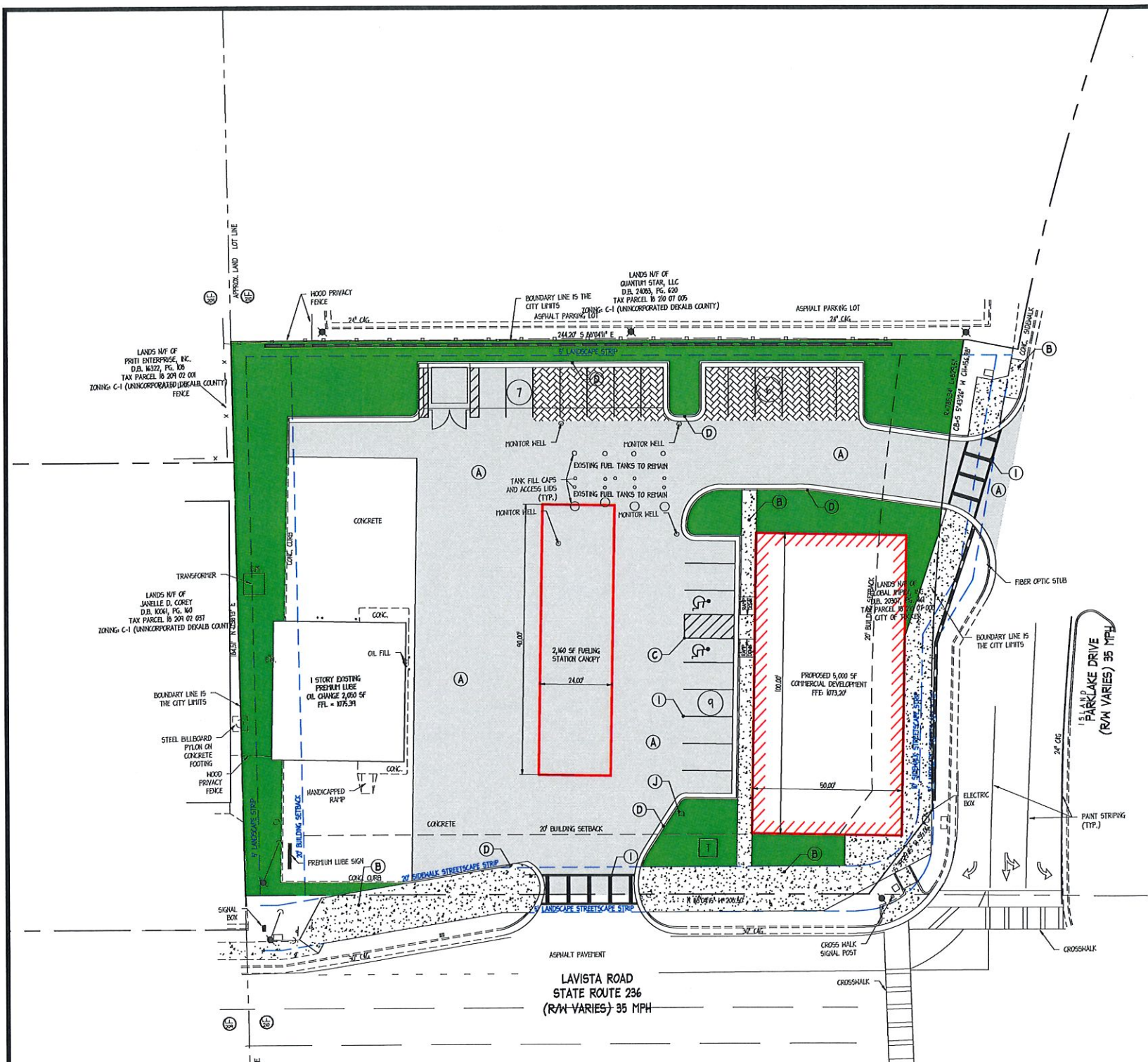
REVISION HISTORY table with columns for description and date.

THE CIVIL ENGINEER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF...

PROJ # 202040
DWG NAME 202040.COV.DWG
ISSUE DATE 10/18/21
PROJ LEAD DA

COVER SHEET

CO1.0
SHEET NUMBER



- ### SITE LEGEND
- (A) CONCRETE SECTION: DETAIL 1, SHEET C03.3
  - (B) CONCRETE SIDEWALK: DETAIL 6, SHEET C03.2
  - (C) ACCESSIBLE AREA: DETAIL 1, SHEET C03.2
  - (D) 2" CURB & GUTTER: DETAIL 2, SHEET C03.2
  - (E) CURB TRANSITION: DETAIL 4, SHEET C03.2
  - (F) SITE SIGNAGE: DETAIL 7, SHEET C03.2
  - (G) CONCRETE WHEELSTOPS: DETAIL 9, SHEET C03.2
  - (H) SIDEWALK RAFT: DETAIL 10, SHEET C03.2
  - (I) PAVEMENT STRIPING: DETAIL 3, SHEET C03.3
  - (J) MAILBOX

### SITE INFORMATION

**JURISDICTION:** TUCKER, GEORGIA  
DEKALB COUNTY

**ZONING:** HL-1 (NORTHLAKE HIGH INTENSITY COMMERCIAL DISTRICT)

**REQUIRED BUILDING SETBACKS:**  
FRONT: PARKLAKE DRIVE - BUILDING FRONT BE WITHIN 20' OF RIGHT-OF-WAY  
EXTERIOR SIDE: LAVISTA ROAD - BUILDING FRONT BE WITHIN 20' OF RIGHT-OF-WAY  
INTERIOR SIDE: (NORTH PROPERTY LINE-QUANTUM PARK) 0'  
REAR: (WEST PROPERTY LINE-FOR EYES) 20' BUILDING SETBACK

**REQUIRED PARKING:**  
MINIMUM REQUIRED: 16 SPACES  
MINIMUM ALLOWED: 46 SPACES

**PROPOSED PARKING:**  
9' X 18' (REGULAR) = 20  
8' X 12' (CL) = 2  
TOTAL = 22

**DRIVE AREA:** 24'

**SITE AREA CALCULATIONS:**  
SITE: 11.0 AC.  
PERVIOUS AREA: 10.0 AC.  
PREVIOUS AREA: 10.0 AC.  
DISTURBED AREA: 10.0 AC.

**FLOOD HAZARD:**  
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.F.R.M. MAP NO. 60040002K, DATED 06/25/2014.

**EXISTING INFORMATION:**  
PROVIDED BY: ROBBERG LASER SCANNING LAND SURVEYING, DATED 02/16/2018 (SEE SHEET C03.0).

### SITE NOTES

- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. ON SITE BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN BURIED UTILITIES ON THE SITE AND NONE SHALL BE ALLOWED DURING CONSTRUCTION OF THE PROJECT.
- ALL WORK SHALL COMPLY WITH TUCKER/DEKALB COUNTY, STATE OF GEORGIA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
- ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE OF GEORGIA TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION.
- ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PHOTOMETRICS DESIGNED BY OTHERS, POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.
- SEE SHEET C03.1 FOR GENERAL NOTES.

### BUILDING AREA NOTES

- MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION; I.E. IN TIMES OF RAIN OR FLOOD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC., WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDEPIS SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 114 3-1).
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
- SEE SHEET C03.1 FOR GENERAL NOTES.

### CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

### CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:  
MR. IMRAN NIAZI  
(678) 713-4453

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City of Tucker  
OCT 18 2021  
Community Development  
Department

SLUP-21-0008, SLUP-21-0009



**ingenium**  
ENTERPRISES  
PLANNING & ENGINEERING

23 ROSWELL ST.  
SUITE 100  
ALPHARETTA, GA 30001  
770.471.8950  
H@INGENIUMENTERPRISES.COM

418 LAVISTA ROAD  
TUCKER, GEORGIA

CLIENT:

BLACKWATER  
CONSTRUCTION  
2800 SATELLITE BLVD, SUITE 400  
DUBLIN, GEORGIA 30097  
PHONE: 678-713-4453

REVISION HISTORY

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	10/18/21

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN A CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE CURRENT SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. THEREFORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL DRAWING REPRESENTED HEREIN BY THIS REGISTRATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS AND USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJ # 210040  
ENG NAME 210040 CD/ENG  
ISSUE DATE 10/18/21  
PROJ TYP EN

SITE PLAN

C03.0

SHEET NUMBER

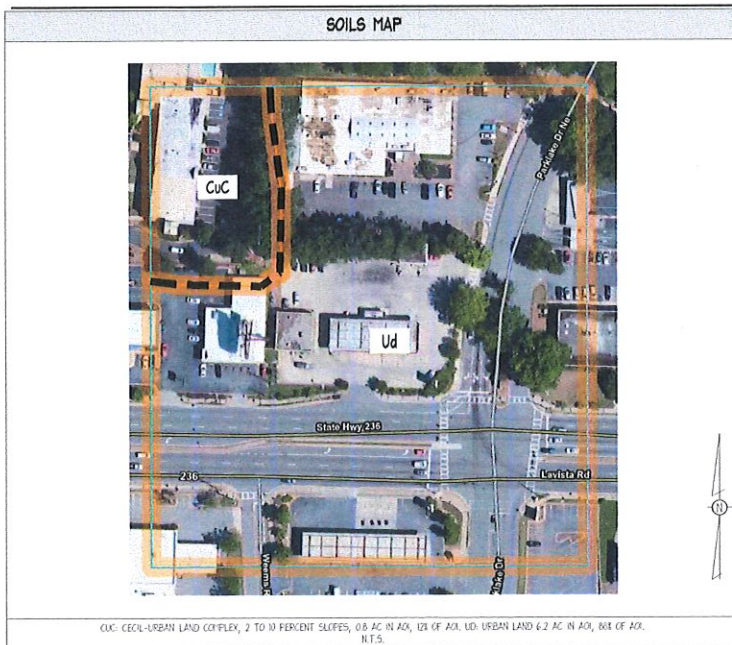
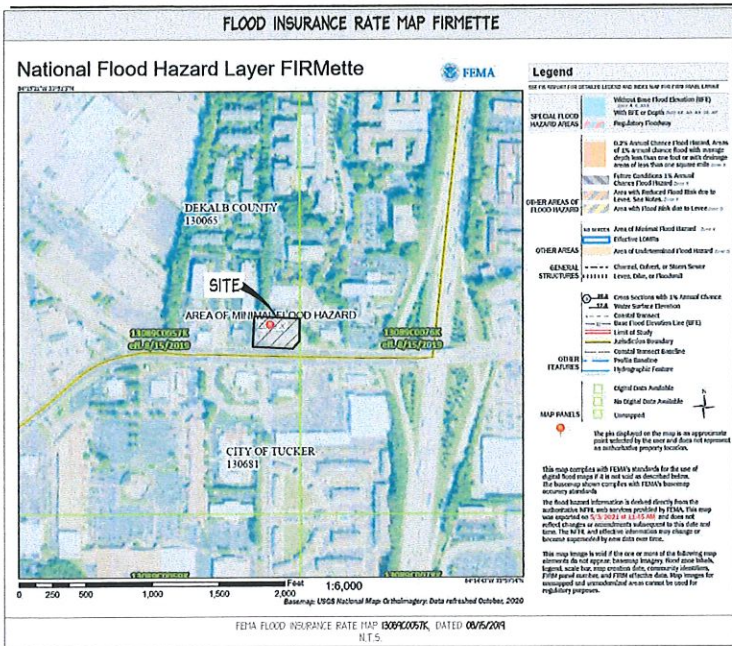
ISSUE FOR PERMIT



Know what's below.  
Call before you dig.

SCALE 1" = 20'

SCALE 1" = 20'



**ABBREVIATIONS**

ASPH	ASPHALT
BC	BOTTOM OF CURB
BFP	BACKFLOW PREVENTER
BN	BOTTOM OF HULL
CB	CURB AND GUTTER
CB	CONCRETE
CB	CATCH BASIN
CF	CMBS FEET
C	CENTERLINE
CP	CORROGATED METAL PIPE
CO	GENERAL CLEAN OUT
CONC	CONCRETE
OH	COLD WATER SUPPLY
CF	CUBIC YARD
D.O.T.	DEPARTMENT OF TRANSPORTATION
DR	DROP RILET
DS	DOWN SPOUT
DP	DUCTILE IRON PIPE
E	EASE
EL	ELEVATION
EL	ENERGY GRADE LINE
EXST.	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FEE	FRESH FLOOR ELEVATION
FI	FIRE HYDRANT
GC	GENERAL CONTRACTOR
GSE	GROSS SQUARE FEET
GT	GRADE TRAP
GV	GATE VALVE
HUPE	HIGH DENSITY POLYETHYLENE
HGL	HYDRAULIC GRADE LINE
HW	HOT WATER SUPPLY
INT	INTERVAL ANGLE
IN	INVERT
IR	IRIGATION
L	LENGTH OF CURVE
L.C.	LENGTH OF CURVED
LFE	LOWER FINISH FLOOR ELEVATION
LP	LIGHT POLE/POSTURE
LS	LANDSCAPE
HS	HANDS
N	NORTH
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PV	POST INDICATOR VALVE
PROP	PROPOSED
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS OF CURVE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
RI	RIGHT-OF-WAY
S	SOUTH
SF	SQUARE FEET
SSE	SANITARY SEWER EASEMENT
STD	STANDARD
SY	SQUARE YARD
T	TANGENT OF CURVE LENGTH
TC	TOP OF CURB
TB	THURST BLOCKING
TH	TOP OF HULL
TYP	TYPICAL
W	WEST
WT	WATER METER
WS	WATER SURFACE
W.S.E.	WATER SURFACE ELEVATION
YR	YEAR

SEE SURVEY/EXISTING CONDITIONS FOR ABBREVIATIONS SPECIFIC TO THAT SHEET

**DEFINITIONS**

**ISSUED FOR PERMITTING:**  
DRAWINGS ARE INTENDED FOR SUBMITTAL TO THE JURISDICTION(S) HAVING AUTHORITY FOR REVIEW, COMMENT, AND/OR APPROVAL. DRAWINGS ARE NOT INTENDED FOR PRICING, BID, OR CONSTRUCTION.

**NOT ISSUED FOR CONSTRUCTION:**  
DRAWINGS ARE INTENDED FOR SUBMITTAL TO THE JURISDICTION(S) HAVING AUTHORITY FOR REVIEW, COMMENT, AND/OR APPROVAL. DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION.

**ISSUED FOR CONSTRUCTION:**  
DRAWINGS ARE INTENDED FOR PRICING, BID, AND/OR CONSTRUCTION.

**Note:**

1. TOP OF GATE ELEVATION FOR CURB RILETS.
2. TOP OF STRUCTURE FOR JUNCTION BOXES/KITS.
3. TOP OF STRUCTURE FOR SANITARY MANHOLE AND CLEANOUTS.

**EXISTING CONDITIONS LEGEND**

DESCRIPTION	LINE/TYP/SYMBOL
IRRIGATION CONTROL VALVE	IV
IRON FRI FOUND	IFF
IRON FRI SET (1/2" FRI)	IFPS
OPEN TOP PIPE	OT
CRIP TOP PIPE	CT
CONCRETE TREATMENT FOUND	CF
NAL AND CAP	N & C
FEEDER	FB
POWER POLE	FP
TELEPHONE POLE	TP
LAND LOT	LL
LAND LOT LINE	LLL
POINT OF BEGINNING	PBB
BUILDING LINE	BL
CENTER LINE	CL
PROPERTY LINE	PL
FIRE HYDRANT	FH
CATCH BASIN	CB
DROP RILET	DR
HEADWALL	HW
JUNCTION BOX	JB
DRAINAGE EASEMENT	DE
WATER METER	WT
WATER VALVE	WV
GAS VALVE	GV
MANHOLE	MH
RIGHT-OF-WAY MONUMENT FOUND	ROWMF
GAS LINE	GL
WATER LINE	WAL
SANITARY SEWER LINE	SAN
STORM DRAINAGE PIPE	SD
OVERHEAD ELECTRIC LINE	OH E/L
UNDERGROUND ELECTRIC LINE-PRIMARY	UG-E-P
UNDERGROUND ELECTRIC LINE-SECONDARY	UG-E-S
POST INDICATOR VALVE	PIV
SITE LIGHTING POLE	SLP
TRANSFORMER PAD	TP
METER/FEDESTAL	CT
UNDERGROUND TELEPHONE LINE	UGT - UST
GENERAL UTILITY CONDUIT	GU - GU
GAS LINE	G
GAS METERS	G

**GENERAL NOTES**

1. INGENIUM ENTERPRISES, INC. (IE) REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF IE. THE ORIGINAL IDEAS REPRESENTED HERE BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF IE.
2. DEVIATIONS FROM THESE PLANS AND NOTES WITHOUT PRIOR CONSENT OF THE OWNER, HIS REPRESENTATIVE, OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
3. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. THIS INCLUDES ALL STAKING AND SIGNAGE.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR MONITORING AND MAINTAINING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS REQUIRING SAFETY MEASURES AND SAFETY MEETING REQUIREMENTS.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**PROPOSED LEGEND**

GENERAL	LINE/TYP/SYMBOL	REFERENCE
RIGHT-OF-WAY/PROPERTY LINE	---	SEE PLANS
CENTERLINE	---	SEE PLANS
POINTS OF CONSTRUCTION	---	SEE PLANS
DETAIL REFERENCE	---	SEE PLANS
ADDITIONAL AND/OR REVISION REFERENCE	---	SEE PLANS

SITE/HARDSCAPE	LINE/TYP/SYMBOL	REFERENCE
CHAIN LINK FENCE	---	NOT APPLICABLE
RETAINING WALL	---	SEE PLANS
SCREEN WALL/DW/POSTER ENCLOSURE	---	NOT APPLICABLE
CURB & GUTTER	---	SEE PLANS
HEADER CURB	---	NOT APPLICABLE
CONCRETE SIDEWALK	---	SEE PLANS

UTILITY	LINE/TYP/SYMBOL	REFERENCE
DOMESTIC WATER LINE	---	SEE PLANS
FIRE WATER LINE	---	NOT APPLICABLE
BUILDING FIRE SPRINKLER LINE	---	NOT APPLICABLE
IRRIGATION WATER LINE	---	SEE IRRIGATION PLAN
DOMESTIC WATER METER (DW)	---	SEE PLANS
IRRIGATION METER (IR)	---	SEE PLANS
BACKFLOW PREVENTER (BP)	---	NOT APPLICABLE
FIRE VALVE (FV)	---	NOT APPLICABLE
DC BACKFLOW PREVENTER	---	NOT APPLICABLE
WATER TAP OR TEE	---	SEE PLANS
GATE VALVE (GV)	---	NOT APPLICABLE
THRUST BLOCK (TB)	---	NOT APPLICABLE
FIRE HYDRANT (FH)	---	NOT APPLICABLE
FIRE DEPARTMENT CONNECTION (FDC)	---	NOT APPLICABLE
SANITARY SINKER (SS)	---	SEE PLANS
SANITARY MANHOLE (SSM)	---	DETAIL 3, SHEET 041
GENERAL CLEAN OUT (CO)	---	DETAIL 1, SHEET 041
SAMPLING MANHOLE	---	NOT APPLICABLE
SANITARY STRUCTURE NUMBER	---	SEE PLANS
UNDERGROUND ELECTRIC LINE-PRIMARY	---	SEE PLANS
UNDERGROUND ELECTRIC LINE-SECONDARY	---	SEE PLANS
POST INDICATOR VALVE	---	NOT APPLICABLE
SITE LIGHTING POLE	---	NOT APPLICABLE
TRANSFORMER PAD	---	NOT APPLICABLE
METER/FEDESTAL	---	NOT APPLICABLE
UNDERGROUND TELEPHONE LINE	---	SEE PLANS
GENERAL UTILITY CONDUIT	---	SEE PLANS
GAS LINE	---	SEE PLANS
GAS METERS	---	SEE PLANS

**## ALL UTILITIES SHALL BE INSTALLED ACCORDING TO UTILITY PROVIDERS AND JURISDICTION STANDARDS AND SPECIFICATIONS.**

GRADING/DRAINAGE	LINE/TYP/SYMBOL	REFERENCE
GRADE	---	SEE PLANS
SPOT ELEVATION	---	SEE PLANS
STORM DRAIN	---	SEE PLANS
HEADWALL (HW) / FLARED END SECTION (FES)	---	NOT APPLICABLE
DROP RILET (GRATE)	---	DETAIL 5, SHEET 4.3
DROP RILET (GRATE AND HX/D)	---	NOT APPLICABLE
JUNCTION BOX (JB) / OCS	---	DETAIL --, SHEET --
CATCH BASIN (SINGLE WING)	---	DETAIL 2, SHEET 4.3
CATCH BASIN (DOUBLE WING)	---	DETAIL 2, SHEET 4.3
PEDESTAL TOP	---	NOT APPLICABLE
STORM STRUCTURE NUMBER	---	SEE PLANS

ESPC B/M	LINE/TYP/SYMBOL	REFERENCE
Gr	CONSTRUCTION EXT	SHEET 004.4
S-TYPE C	SILT FENCE - TYPE C	SHEET 005.5
S-TYPE D	SILT FENCE - TYPE C DOUBLE	NOT APPLICABLE
S-D-F	RILET SEDIMENT TRAP-FILTER	SHEET 006.6
S-D-P	RILET SEDIMENT TRAP-CURB	SHEET 006.6
D1	DUST CONTROL-DISTURBED AREAS (WITH PLANTING ONLY)	SHEET 007.7
D2	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	SHEET 008.8
D3	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	SHEET 004.4
D4	DISTURBED AREA STABILIZATION (WITH SEEDING)	NOT APPLICABLE
S	SLOPE STABILIZATION	NOT APPLICABLE
T	TREE PROTECTION	NOT APPLICABLE

SEE LANDSCAPE/TREE PROTECTION PLANS FOR LEGEND SPECIFIC TO THOSE SHEETS



**ingenium**  
PLANNING & ENGINEERING

200 ROSHILL ST.  
SUITE 100  
ALPHARETTA, GA 30009  
770-437-8750  
USA@INGENIUMENTERPRISES.COM

4118 LAVISTA ROAD  
TUCKER, GEORGIA

**BLACKWATER CONSTRUCTION**

2000 SATELLITE BLVD, SUITE 400  
DUBLUTH, GEORGIA 30097  
PHONE: 678-713-4453

**REVISION HISTORY**

NO.	DATE	DESCRIPTION
1	08/26/2019	ISSUE FOR PERMIT
2	08/26/2019	ISSUE FOR PERMIT
3	08/26/2019	ISSUE FOR PERMIT
4	08/26/2019	ISSUE FOR PERMIT
5	08/26/2019	ISSUE FOR PERMIT
6	08/26/2019	ISSUE FOR PERMIT
7	08/26/2019	ISSUE FOR PERMIT
8	08/26/2019	ISSUE FOR PERMIT
9	08/26/2019	ISSUE FOR PERMIT
10	08/26/2019	ISSUE FOR PERMIT

THE "GAS" ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL IDEAS REPRESENTED HEREIN BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS, ANY USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJECT # 20040  
DRAWN BY ZORAN COLIC  
ISSUE DATE 08/26/2019  
PROJECT # 20040

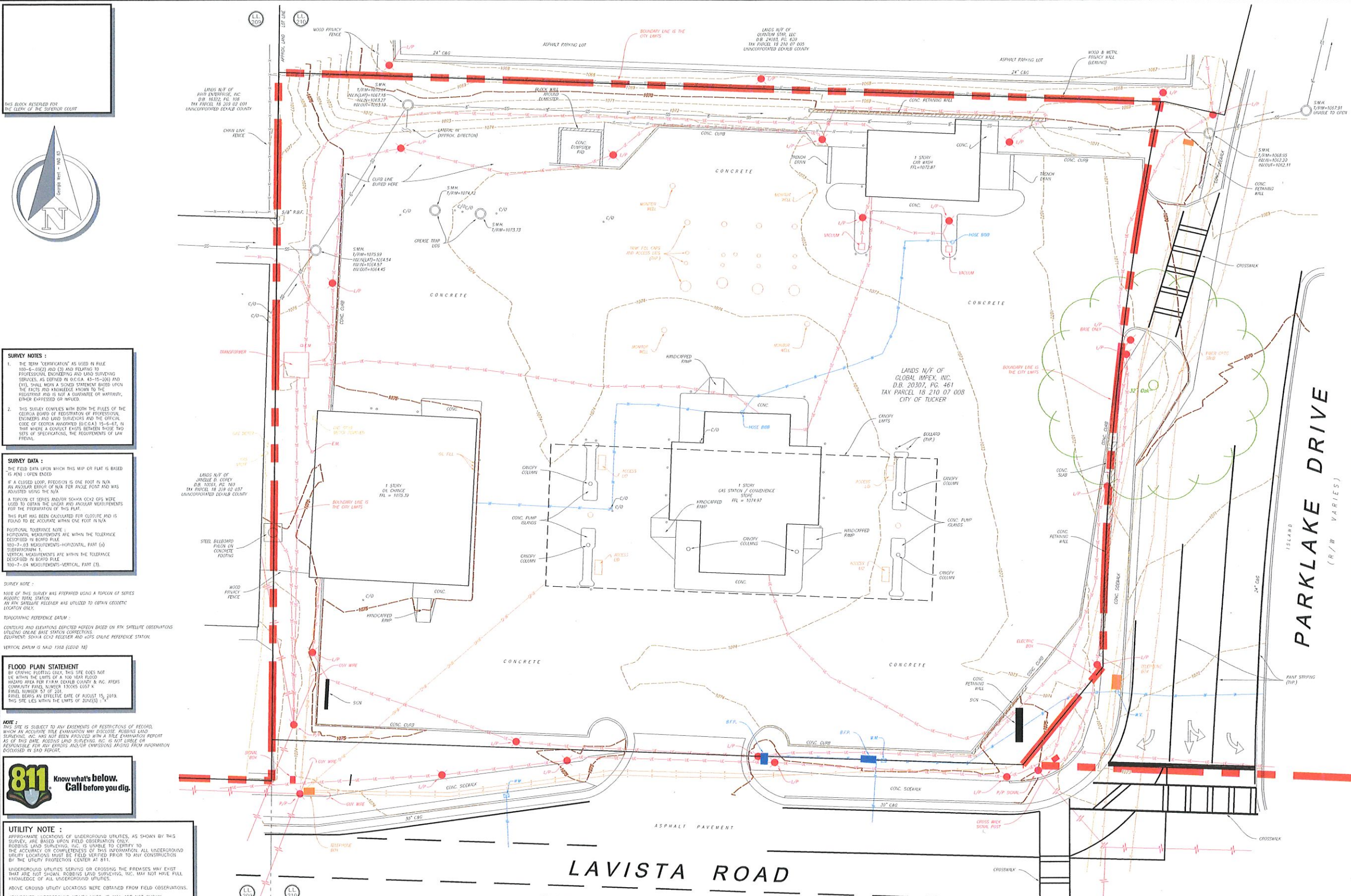
**GENERAL NOTES**

COL.1  
SHEET NUMBER

RECEIVED  
City of Tucker  
OCT 18 2021  
Community Development  
Department

SLUP-21-0008, SLUP-21-0009

ISSUE FOR PERMIT



**SURVEY NOTES:**

1. THE TERM "CERTIFICATION" AS USED IN RULE 100-6-(6)(2) AND (3) AND RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES, AS DEFINED IN O.C.G.A. 43-15-(2)(4) AND (5), SHALL MEAN A SIGNED STATEMENT BASED UPON THE FACTS AND KNOWLEDGE KNOWN TO THE REGISTERED AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
2. THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (O.C.G.A.) 43-15-67, IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF REGULATIONS, THE REGISTRARS OF LAW PREVAIL.

**SURVEY DATA:**

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED IS AND IS OPEN ENDED.

IF A CLOSED LOOP, PRECISION IS ONE FOOT IN N/A. AN ANGULAR ERROR OF N/A PER ANGLE POINT AND WAS ADJUSTED USING THE N/A.

A TOPCON CT SERIES AND/OR SOUMA GCS2 GPS WERE USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS FOR THE PREPARATION OF THIS PLAN.

THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN N/A.

**HORIZONTAL TOLERANCE NOTE:**

HORIZONTAL MEASUREMENTS ARE WITHIN THE TOLERANCE DESCRIBED IN BOARD RULE 100-7-103 MEASUREMENTS-HORIZONTAL, PART (4) STEREOGRAMMATIC.

VERTICAL MEASUREMENTS ARE WITHIN THE TOLERANCE DESCRIBED IN BOARD RULE 100-7-104 MEASUREMENTS-VERTICAL, PART (3).

**SURVEY NOTE:**

NOTE OF THIS SURVEY WAS PREPARED USING A TOPCON CT SERIES RECORDING TOTAL STATION AND AN RTH SATELLITE RECEIVER TO OBTAIN GEODETIC LOCATION DATA.

**TOPOGRAPHIC REFERENCE DATA:**

CONTOURS AND ELEVATIONS DEPICTED HEREON BASED ON RTH SATELLITE OBSERVATIONS UTILIZING ORACLE BASE STATION CORRECTIONS.

EQUIPMENT: SOUMA GCS2 RECEIVER AND RTHS ONLINE REFERENCE STATION.

VERTICAL DATUM IS NAVD 1983 (GEOID 18)

**FLOOD PLAN STATEMENT:**

BY CREATING FLOODING COUL, THIS SITE DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD HAZARD AREA PER FIRM DEKALB COUNTY & INC. AREAS COMMUNITY FIRM NUMBER 30005 0027 & FIRM NUMBER 57 OF 501.

FIRM BEARS AN EFFECTIVE DATE OF AUGUST 15, 2019. THIS SITE LIES WITHIN THE LIMITS OF 30005(1).

**NOTE:**

THIS SITE IS SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD, WHICH AN ACCURATE TITLE EXAMINATION MAY DISCLOSE. ROBBS LAND SURVEYING, INC. HAS NOT BEEN PROVIDED WITH A TITLE EXAMINATION REPORT AS OF THIS DATE. ROBBS LAND SURVEYING, INC. IS NOT LIABLE OR RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ARISING FROM INFORMATION DISCLOSED IN SAID REPORT.



**UTILITY NOTE:**

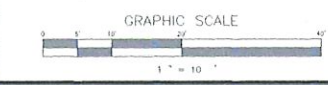
APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN BY THIS SURVEY, ARE BASED UPON FIELD OBSERVATION ONLY. ROBBS LAND SURVEYING, INC. IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION BY THE UTILITY PROTECTION CENTER AT 811.

UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. ROBBS LAND SURVEYING, INC. MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. #ABANDONED UNDERGROUND UTILITY LINES, IF ANY, ARE NOT SHOWN.

**LEGEND:**

P.O.B.	POINT OF BEGINNING	D.P.	DUCTILE IRON PIPE	F.H.	FIRE HOUSING
L.L.	LAND LOT	P.V.	POLYVINYLENECHLORIDE PIPE	I.C.V.	IRIGATION CONTROL VALVE
P.F.W.	POINT OF WAY	C.B.	CURB BASH	R.E.R.	RIBBER EDGE
N.W.	NOW OR FORMERLY	C.I.	CURB INLET	W.	WATER METER
C.B.	CEED BOX	O.I.	ORIP INLET	W.H.	WATER HEAD
C.F.	CORNER TOP FOUND	W.B.	WATER BOX	S.H.	SPRINKLER HEAD
R.F.	REAR FOUND	W.B.	WATER BOX	M.H.	MANHOLE BOX
O.T.F.	OPEN TOP FOUND	J.B.	JUNCTION BOX	V.V.	VALVE VALVE
A.F.	ANGLE FOUND	F.E.S.	FLARED END SECTION	W.P.	WINDICAPPED PARKING SIGN POST
A.V.F.	ANGLE VIGN FOUND	H.R.	HEAD RAIL	S.C.	SHAMICE CONNECTION
R.F.F.	RAILROAD SPIKE FOUND	W.R.	WATER RILET	S.C.	SHAMICE CONNECTION
H.F.	HUB & RACK FOUND	S.M.H.	SANITARY MANHOLE	C.S.	CAS. CURB
N.F.	NAIL FOUND	C/O	CLEAN OUT	S.O.	SNIB OUT
S.F.F.	SCREENED FOUND	S.P.	SAWYER PIPE	I.V.	INVERT
M.F.F.	MANHOLE FOUND	E.M.H.	ELECTRIC MANHOLE	S.P.	SEWERAGE SHAFT
P.B.S.	PEPPER SET	O.P.W.L.	OVERHEAD POWER LINE	T.P.	TELEPHONE MANHOLE
S.S.	SCREENED SET	E.G.	ELECTRIC GUINET	C.F.P.	CORNER FOUND
M.S.	MANHOLE SET	U.P.	UNDERGROUND POWER LINE	C.W.	CURB WALK
H.S. & T.S.	HUB & TACK SET	U.P.	UNDERGROUND POWER LINE	B.L.	BUILDING LINE
N.S.	NAIL SET	C.W.	CURB WALK	C.S.	CAS. CURB
M.M.	MANHOLE	E.M.	ELECTRIC METER	E.P.	EDGE OF PAVEMENT
R.M.	REINFORCING	P.P.	POWER POLE	M.W.	MONITORING WELL
C.M.P.	CONCRETE METAL PIPE	T.M.	TRANSFORMER		
P.C.P.	PERFORATED CONCRETE PIPE	L.P.	LIGHT POLE		



**LAVISTA ROAD**  
**STATE ROUTE 236**  
(R/W VARIES)

**RECEIVED**  
**City of Tucker**  
**OCT 18 2021**  
**Community Development**  
**Department**  
**SLUP-21-0008, SLUP-21-0009**

**ROBBS LAND SURVEYING, INC.**  
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NO.	DATE	BY	REVISION / DESCRIPTION
1			
2			
3			
4			
5			
6			

LOCATED IN  
**LAND LOT 210**  
**18th DISTRICT**

CITY OF  
**TUCKER**

COUNTY OF  
**DEKALB**

STATE OF  
**GEORGIA**

**TOPOGRAPHIC SURVEY**  
AS AUTHORIZED BY  
**GLOBAL IMPEX, INC.**

**4114 LAVISTA ROAD**  
**TUCKER GEORGIA 30084**

PROJECT NO.  
**21-081**

SCALE  
**1" = 10'**

DATE  
**K.S.R./K.S.R.**

FIELD WORK DATED  
**1/26 & 2/4/2021**

PLAN DATED  
**FEB. 16, 2021**

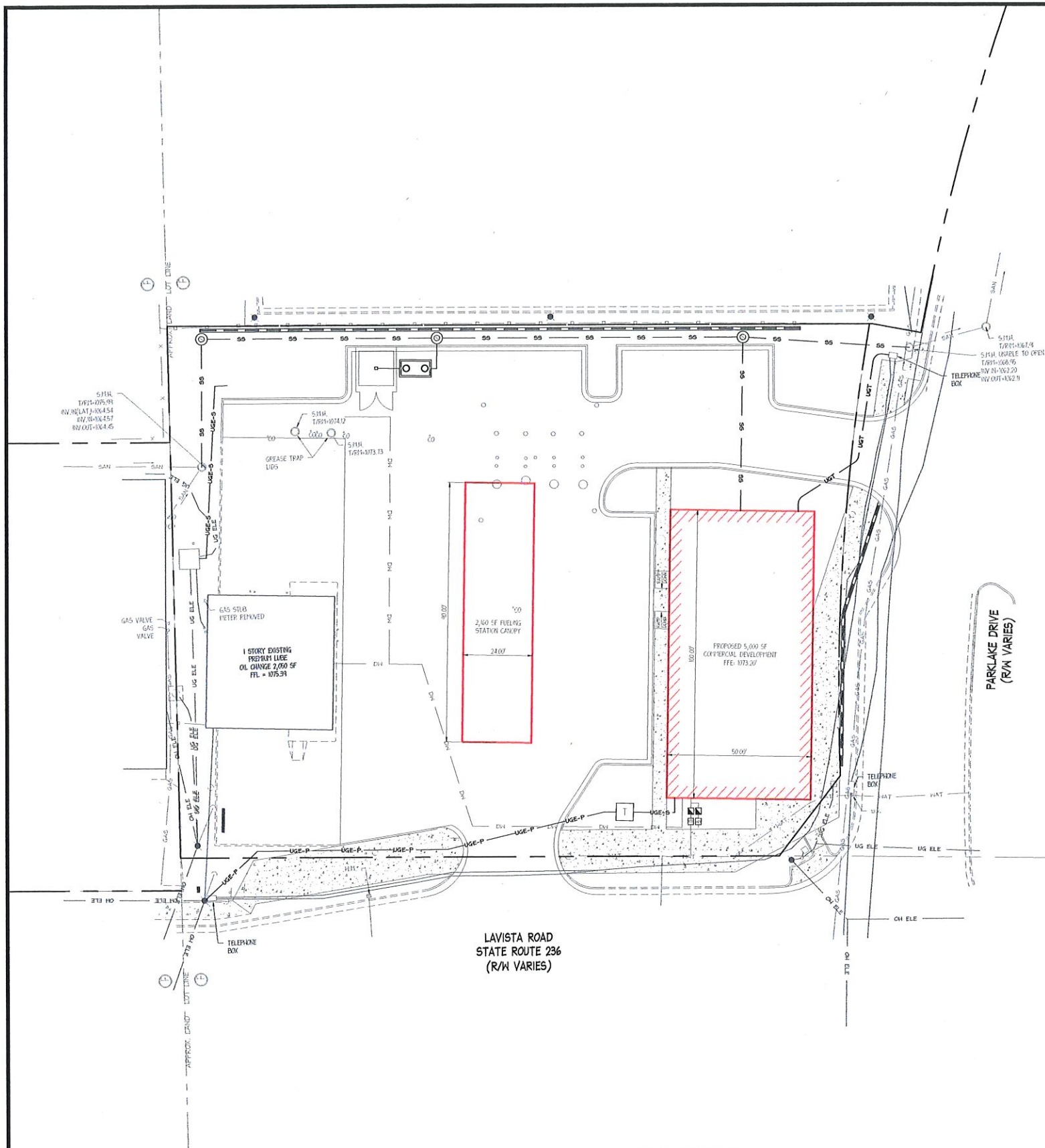
**ROBBS LAND SURVEYING**  
P.O. BOX 1592  
LOCUSTVILLE, GEORGIA 30052-5258  
TEL: 770-554-3810  
FAX: 770-554-3810  
EMAIL: info@robbslandsurveying.com  
State of Georgia Land Surveying Firm # LS7000685

**SURVEYORS CERTIFICATION**

This plan is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats or other instruments which created the parcel or parcels is stated hereon. RECORDATION OF THIS PLAN DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, APPLICABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS OR SATISFACTORY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plan complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 43-15-6-67.

**Georgia**  
Professional  
Land Surveyor  
No. 2776  
**Kevin S. Robbins**  
Kevin S. Robbins, President  
for the Firm, Robbs Land Surveying, Inc.  
Georgia Professional Land Surveyor License No. 2776  
FEBRUARY 16, 2021  
Date

**SHEET No.**  
**1 OF 1**



### UTILITY LEGEND

UTILITY	LINE TYPE/SYMBOL	REFERENCE
DOMESTIC WATER LINE	—DW— DW—	SEE PLANS
FIRE WATER LINE	—FW— FW—	NOT APPLICABLE
BUILDING FIRE SPRINKLER LINE	—FWS— FWS—	NOT APPLICABLE
IRRIGATION WATER LINE	—IR— IR—	SEE IRRIGATION PLAN
DOMESTIC WATER METER (DW)	—DW—	SEE PLANS
IRRIGATION METER (IR)	—IR—	SEE PLANS
BACKFLOW PREVENTER (BFP)	—BFP—	NOT APPLICABLE
FIRE VALVE (FV)	—FV—	NOT APPLICABLE
DC BACKFLOW PREVENTER	—BFP—	NOT APPLICABLE
WATER TAP OR TEE	—DW—	SEE PLANS
GATE VALVE (GV)	—GV—	NOT APPLICABLE
THRUST BLOCK (TB)	—TB—	NOT APPLICABLE
FIRE HYDRANT (FH)	—FH—	NOT APPLICABLE
FIRE DEPARTMENT CONNECTION (FDC)	—FDC—	NOT APPLICABLE
SANITARY SEWER (SS)	—SS— SS—	SEE PLANS
SANITARY MANHOLE (SMH)	—SMH—	DETAIL 3, SHEET C041
GENERAL CLEAN OUT (CO)	—CO—	DETAIL 1, SHEET C041
SAWING MANHOLE	—SMH—	NOT APPLICABLE
SANITARY STRUCTURE NUMBER	—SS—	SEE PLANS
UNDERGROUND ELECTRIC LINE-PRIMARY	—UE-P— UE-P—	SEE PLANS
UNDERGROUND ELECTRIC LINE-SECONDARY	—UE-S— UE-S—	SEE PLANS
FUSE INDICATOR VALVE	—FIV—	NOT APPLICABLE
SITE LIGHTING POLE	—L—	NOT APPLICABLE
TRANSFORMER PAD	—T—	NOT APPLICABLE
METER/POST/STAKE	—M—	NOT APPLICABLE
UNDERGROUND TELEPHONE LINE	—UT— UT—	SEE PLANS
GENERAL UTILITY CONDUIT	—G— G—	SEE PLANS
GAS LINE	—G— G—	SEE PLANS
GAS METERS	—G—	SEE PLANS

**## ALL UTILITIES SHALL BE INSTALLED ACCORDING TO UTILITY PROVIDERS AND JURISDICTION STANDARDS AND SPECIFICATIONS.**

- ### GENERAL UTILITY NOTES
- SEE SHEET C01 FOR GENERAL NOTES.
  - SEE MEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
  - SANITARY LATERALS SHALL HAVE A MINIMUM FALL OF 1/8".
  - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
  - THE FINAL LOCATION OF FIRE HYDRANTS, VALVES, WATER LINES, BACKFLOW PREVENTERS, ETC. SHALL BE DETERMINED DURING CONSTRUCTION. NOTIFY THE ENGINEER OF ANY CHANGES TO LOCATION OR CONFIGURATION. MPA CODES SHALL BE REFERRED TO.
  - THE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES INSPECTIONS AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
  - UTILITY CONDUIT MATERIAL FOR ELECTRIC, TELEPHONE, AND CABLE SHALL BE INSTALLED PER UTILITY PROVIDER SPECIFICATIONS.
  - CONTRACTOR TO BUILD CONCRETE TRANSFORMER PAD AND INSTALL SCHEDULE 80 PVC CONDUIT AND FILL STEEL WITH SHEEPING BENDS.

- ### DEKALB COUNTY WATER AND SEWER NOTES
- ALL DESIGN & CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LEAK DETECTION & BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATER-SHED MANAGEMENT DESIGN STANDARDS 2001 EDITION, VERSION 1.0. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
  - DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EASEMENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS-BUILT PLANS.
  - PROJECTS INVOLVING CONSTRUCTION OF TOWNSHIPS AND/OR CONDOMINIUMS ARE REQUIRED TO HAVE INDIVIDUAL METERS FOR EACH UNIT.
  - FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY WATER & SEWER ENGINEER BEFORE CHANGES ARE IMPLEMENTED.
  - FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTENANCE ROAD TO DEKALB COUNTY. FIELD VERIFY UTILITIES PRIOR TO APPROVAL OF AS-BUILT PLANS.
  - CONTRACTOR MUST JET CLEAN AND T.V. SANITARY SEWER LINES AFTER CONSTRUCTION IS MADE TO THE EXISTING SEWER FE-IN POINTS. TRACKER WIRE TO BE INSTALLED FOR PVC PIPES.
  - THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
  - WATER & SEWER DEPT. REQUIRES THAT A BACKFLOW PREVENTER DEVICE BE INSTALLED (IF CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE LINE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION.
  - POTABLE WATER MAINS SHALL MAINTAIN A TEN (10') FOOT HORIZONTAL AND EIGHTEN (18') FOOT VERTICAL CLEARANCE FROM MANHOLE PIPELINES. GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).
  - PROVIDE EASEMENT PLAT & DEED FOR RECORD FOR ALL SANITARY SEWER AND WATER EASEMENTS, AFTER CONSTRUCTION AND WITH AS-BUILTS.
  - WATER & SEWER ACCESS FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES: NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC. THESE FEES ARE TO BE PAID AT 333 W. PAVLE DE LEON AVE. AND FLOOR. FAILURE TO SETTLE THESE FEES WILL RESULT IN DELAYS FOR OBTAINING WATER & SEWER PLAN APPROVAL, AS WELL AS CERTIFICATE OF OCCUPANCY COMPLETION.
  - INDICATE WHETHER ON-SITE SEWER / WATER IS PUBLIC OR PRIVATE.
  - ADD BLOCK FOR TOTAL PROPOSED WATER/SANITARY SEWER INFRASTRUCTURE (ON UTILITY PLAN & COVER). SS - # THIS SIZE/MATERIAL OF SS. LP - # THIS SIZE/MATERIAL OF WATER. LP OF WATER. CONTRACTOR MUST NOTIFY THE DIST. CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
  - DANIEL TUCKER (404) 733-4411
    - EMAN SHAFIQ (770) 323-7245
    - BRUCE THAMM (404) 551-8227

### UTILITY INFORMATION

UTILITY	METER			ADDITIONAL NOTES
	GC	SELLER/INCL. IN PLOT	DEVELOPER	
LINE EXTENSION TO PROPERTY LINE				###
PROPERTY LINE TO BUILDING				###
TAPPING THE MAIN				###
WATER VAULT				###
WATER (METER) FHT				###
DOMESTIC METER				###
FIRE METER				###
IRRIGATION METER				###
DOMESTIC BFP				###
FIRE BFP				###
IRRIGATION BFP				###
OBTAINING EASEMENTS				###
OBTAINING RUN INWAY PERMITS				###

UTILITY	SANITARY SEWER			ADDITIONAL NOTES
	GC	SELLER/INCL. IN PLOT	DEVELOPER	
TAPPING OF THE MAIN				###
LINE EXTENSION				###
SERVICE LATERAL (ON-SIDE PROPERTY)				###
OBTAINING EASEMENTS				###
OBTAINING RUN INWAY PERMITS				###

UTILITY	ELECTRIC			ADDITIONAL NOTES
	GC	SELLER/INCL. IN PLOT	DEVELOPER	
PRIMARY CONDUIT				###
PRIMARY CABLE				###
PRIMARY FINAL CONNECTION				###
TRANSFORMER				###
TRANSFORMER PAD				###
POLE				###
SECONDARY CABLE				###
SECONDARY CONDUIT				###
SECONDARY TRAIL INSPECTION				###
METER				###
CT CABINET				###
CT METER CONDUIT				###
SOCKET				###
OBTAINING EASEMENTS				###
RUN INWAY PERMITS				###

UTILITY	TELEPHONE			ADDITIONAL NOTES
	GC	SELLER/INCL. IN PLOT	DEVELOPER	
CONDUIT				###
TRENCH & BACKFILL				###
CABLE & WIRE				###
OBTAINING EASEMENTS				###
OBTAINING RUN INWAY PERMITS				###

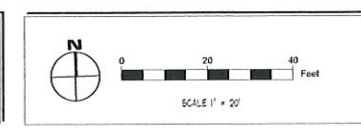
  

UTILITY	GAS			ADDITIONAL NOTES
	GC	SELLER/INCL. IN PLOT	DEVELOPER	
TAP				###
PIPING				###
TRENCH AND BACKFILL				###
METER				###
REGULATOR				###
OBTAINING EASEMENTS				###
OBTAINING RUN INWAY PERMITS				###

**CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.**



**24-HOUR CONTACT:**  
MR. IMRAN NIAZI  
(678) 713-4453



FOR UNDERGROUND STORAGE SEE GRADING & DRAINAGE PLANS C05.0 & C05.1

**CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.**

**CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.**

**CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.**

**RECEIVED**  
City of Tucker  
**OCT 18 2021**  
Community Development  
Department

**SLUP-21-0008, SLUP-21-0009**



**ingenium**  
PLANNING & ENGINEERING  
221 POWELL ST.  
SUITE 100  
ALPHARETTA, GA 30009  
770-474-6500  
WWW.ENGINTECH.COM

418 LAVISTA ROAD  
TUCKER, GEORGIA

**BLACKWATER CONSTRUCTION**  
2800 SATELLITE BLVD., SUITE 400  
DULUTH, GEORGIA 30097  
PHONE: 678-713-4453

### REVISION HISTORY

NO.	DATE	DESCRIPTION
1	10/18/21	ISSUE FOR PERMIT

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASED DATE MAY NOT REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY DIFFER FROM THE PRINTED, MANUSCRIPT, OR MICROFILM, AND SUBJECT TO CHANGE. THEREFORE, THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY FORMER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL, STATE, AND LOCAL LAWS AND USE OF SUCH APPLICABLE REGULATIONS AND ORDINANCES OF THE CIVIL ENGINEER IS PROHIBITED.

PROJECT # 200808  
ENGINE NAME: 200808 C04.0A  
ISSUE DATE: 10/18/21  
PROJECT LEAD: EJM

UTILITY PLAN  
**C04.0A**  
SHEET NUMBER

**ISSUE FOR PERMIT**

**GRADING & DRAINAGE LEGEND**

GRADING/DRAINAGE	LINE TYPE/SYMBOL	REFERENCE
GRADE	— 000 —	SEE PLANS
SPOT ELEVATION	× (33300)	SEE PLANS
STORM DRAIN	— (33300) —	SEE PLANS
HEADWALL (HW) / FLARED END SECTION (FES)	— (33300) —	NOT APPLICABLE
DRIP INLET (GRATE)	— (33300) —	DETAIL 5, SHEET 4.3
DRIP INLET (GRATE AND HOOD)	— (33300) —	NOT APPLICABLE
JUNCTION BOX (JB) / OCS	— (33300) —	DETAIL 2, SHEET 4.3
CATCH BASIN (SINGLE INLET)	— (33300) —	DETAIL 2, SHEET 4.3
CATCH BASIN (DOUBLE INLET)	— (33300) —	DETAIL 2, SHEET 4.3
FEDESTAL TOP	— (33300) —	NOT APPLICABLE
STORY STRUCTURE NUMBER	(A)	SEE PLANS

**GRADING & DRAINAGE NOTES**

- SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
- SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.0%.
- MINIMUM CUT OF FULL SLOPES IS 2.0%.
- THE CONTRACTOR SHALL PROVIDE CLEAR, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
- ALL FILL SHALL BE PLACED IN 8" MAX. HORIZONTAL, 16" VERTICAL (MAXIMUM 6" RICH) AND COMPACTED TO AT LEAST 90 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). THE UPPER 6" INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO AT LEAST 100 PERCENT. COMPACTION MUST BE CERTIFIED BY A GEORGIA REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
- DETENTION POND, EXTENSION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- LENGTH OF RIP-RAP PADS AT FIVE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
- JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAN VIEW FROM A PUBLIC ROAD OR STREET.
- SEE SHEET C05.1 FOR GENERAL NOTES.

**BUILDING AREA NOTES**

- MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. IN TIMES OF RAIN OR FLOOD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC. WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDBY SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 40-3-1).
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
- SEE SHEET C05.1 FOR GENERAL NOTES.

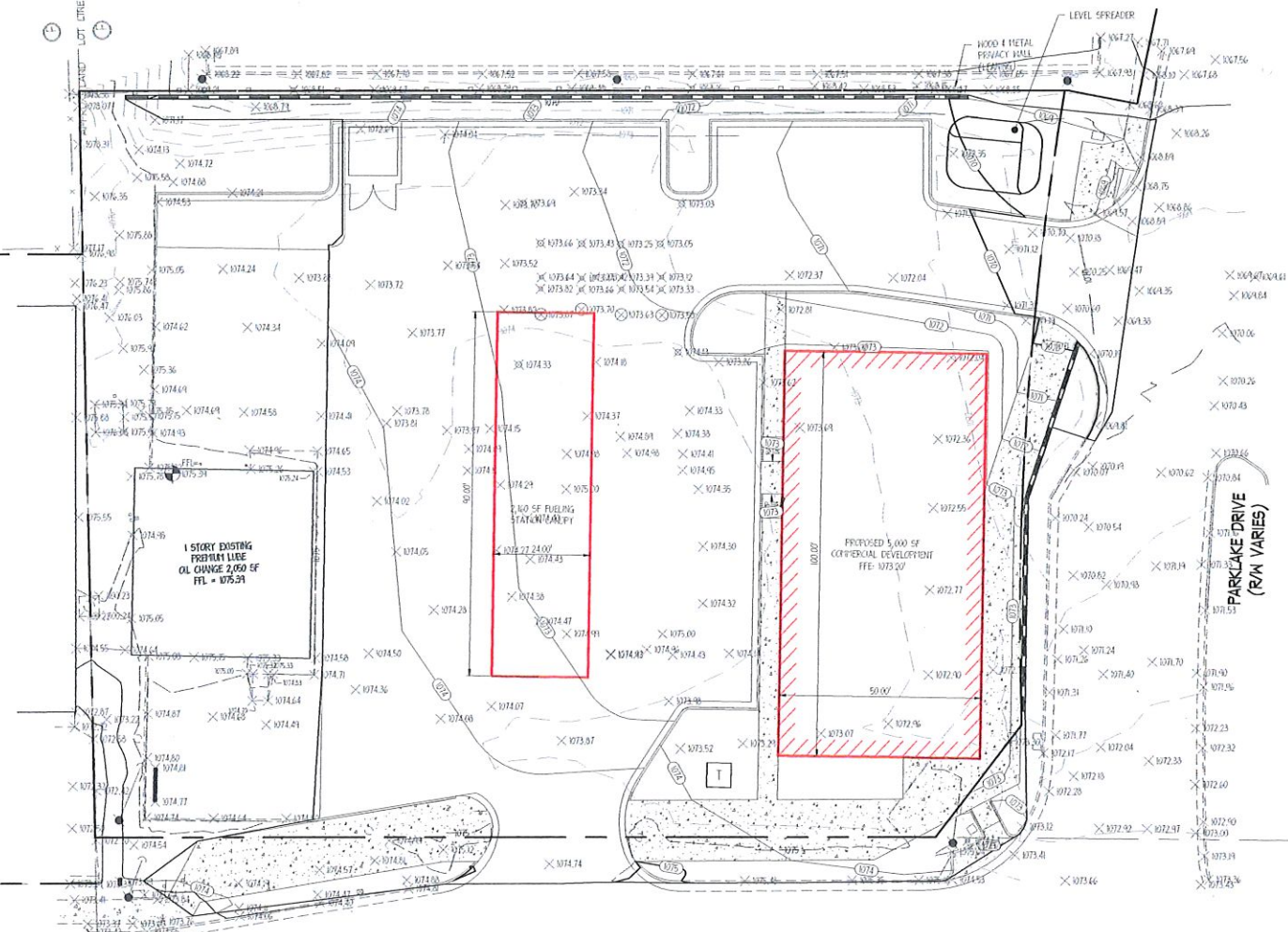
**HYDROLOGY STATEMENT**

SEE HYDROLOGY REPORT BY INGENIUM ENTERPRISES.



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770-637-6500  
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4118 LAVISTA ROAD  
TUCKER, GEORGIA



LAVISTA ROAD  
STATE ROUTE 236  
(R/W VARIES)

PARKLAKE DRIVE  
(R/W VARIES)

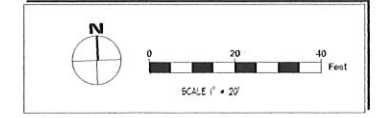
SEE SHEET C05.1 FOR GRADING AND DRAINAGE DETAILS AND PROPOSED SPOTS.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:  
MR. IMRAN NIAZI  
(678) 713-4453

**GEORGIA811**  
Utilities Protection Center, Inc.  
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Call before you dig.



CLIENT:  
**BLACKWATER CONSTRUCTION**  
280 SATELLITE BLVD, SUITE 400  
DULUTH, GEORGIA 30097  
PHONE: 678-713-4453

**REVISION HISTORY**

NO.	DATE	DESCRIPTION
1	10/15/2020	ISSUE FOR PERMIT

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**GRADING & DRAINAGE PLAN**

PROJECT	DATE
PROJ #   20003	DATE   10/15/2020
ENG NAME   20003 C05.DWG	ISSUE DATE   10/15/2020
PROJ ENG   IM	SCALE   1" = 20'

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41B LAVISTA ROAD  
TUCKER, GEORGIA

CLIENT:  
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2120 SATELLITE BLVD, SUITE 400  
DULUTH, GEORGIA 30097  
PHONE: 678-713-4453

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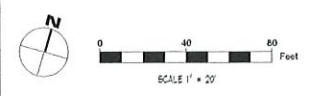
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PROJECT: 210083  
DRAWING: 210083-C07.5  
ISSUE DATE: 10/18/21  
PROJECT: EH

SIGHT DISTANCE PLAN  
C07.5  
SHEET NUMBER

24-HOUR CONTACT:  
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FLOOR PLAN/CLG. PLAN

SHELL C STORE  
 4118 La Vista Road  
 Tucker, GA 30084

NO.	DESCRIPTION	DATE
0	Permit	10/05/2021

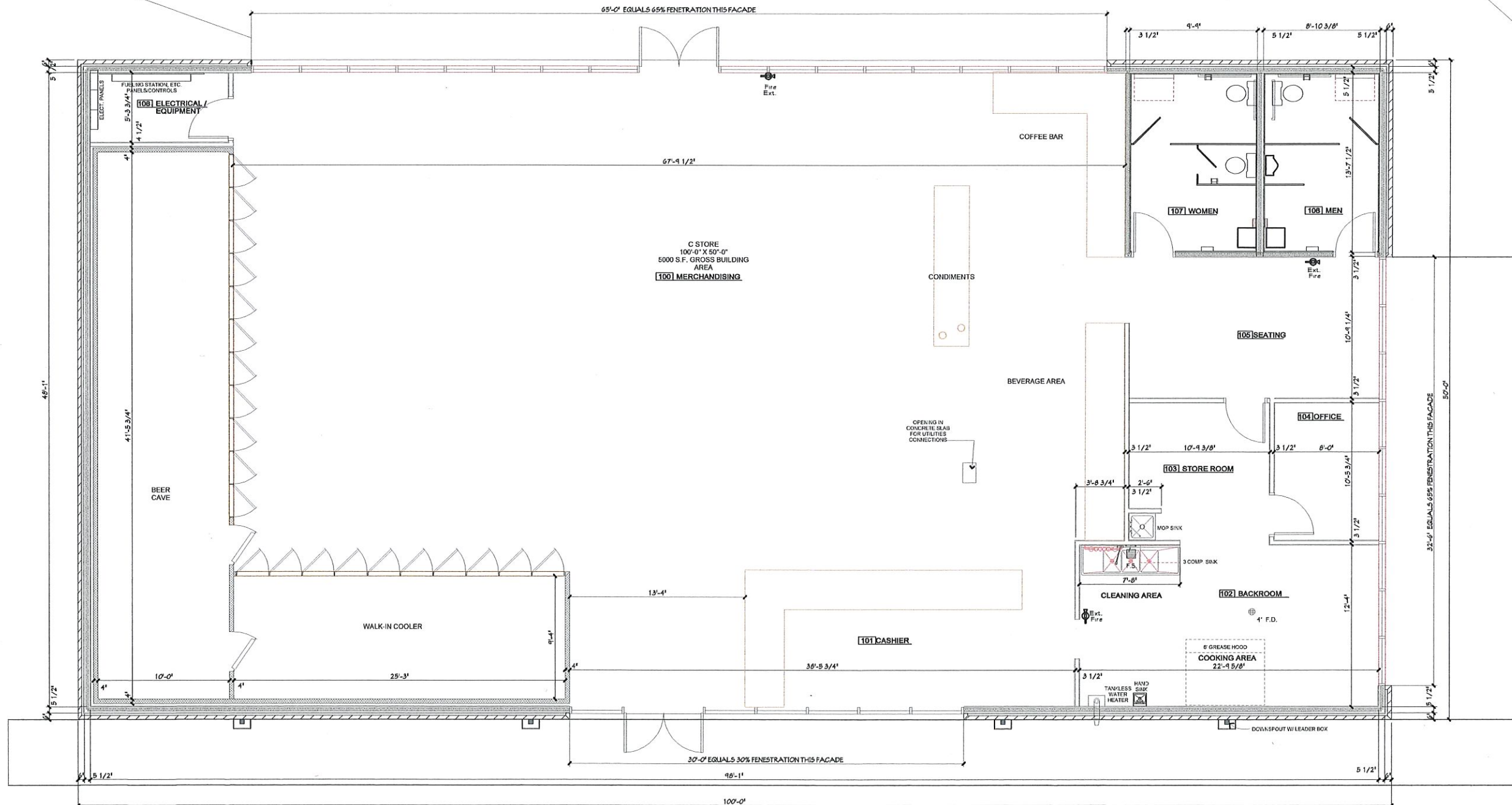
PROJECT NUMBER  
 21136

DESCRIPTION  
 FLOOR PLAN

DRAWING NUMBER

**A-1**

E:\Data\2021\1118 La Vista Road\CD.A



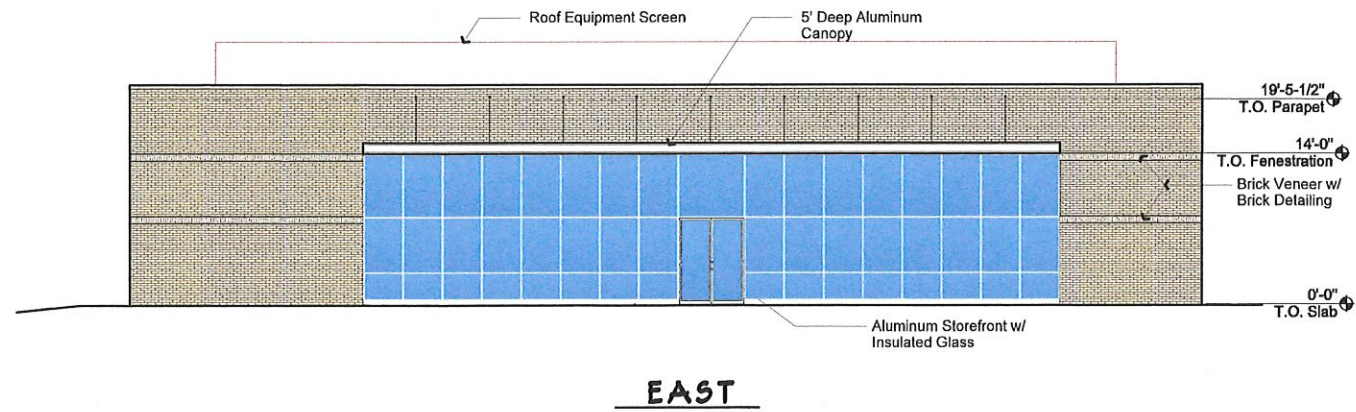
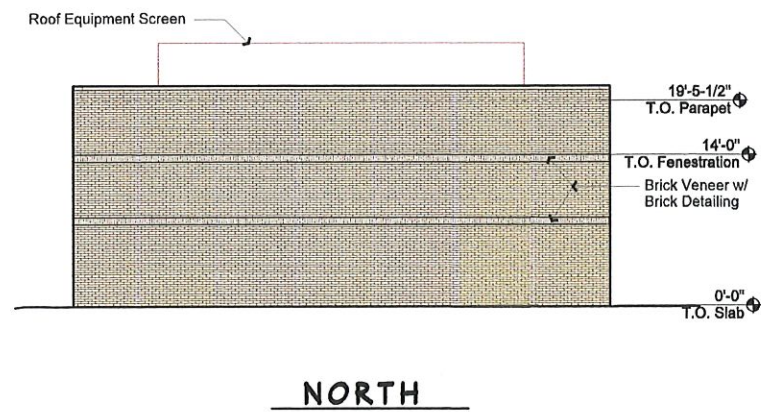
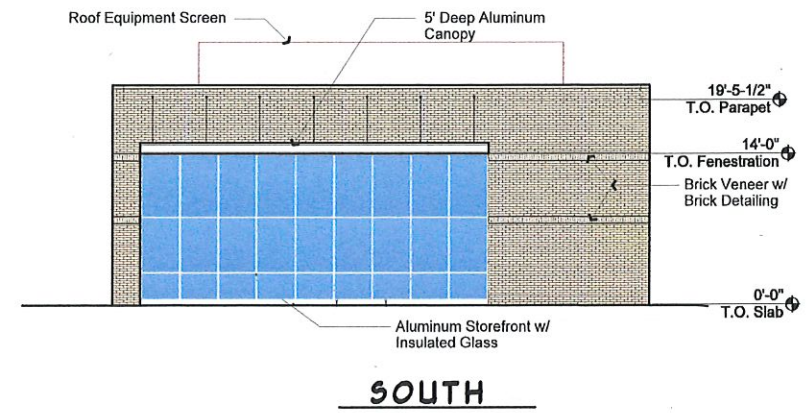
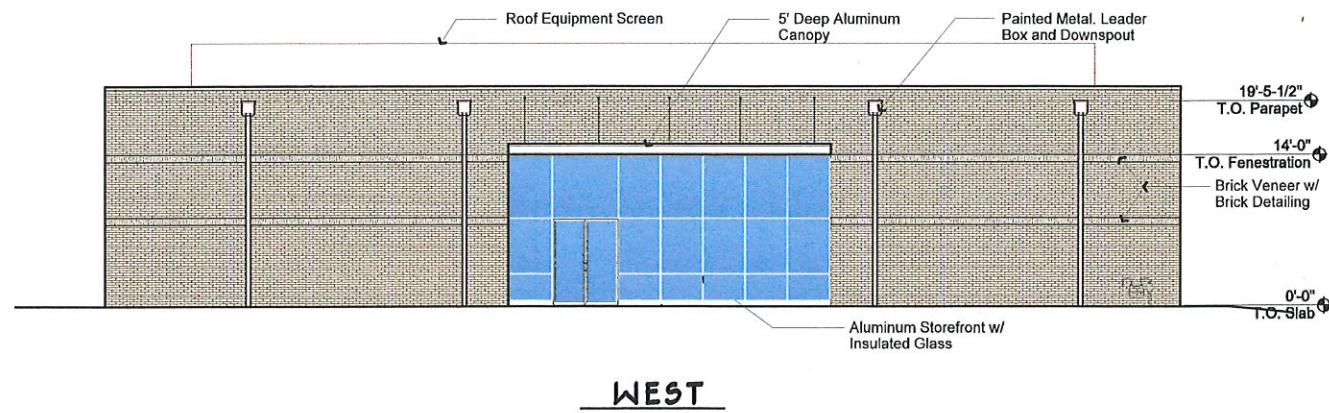
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**1 FLOOR PLAN**  
 1/4" = 1'-0"  
 SCALE IN FEET





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**EXTERIOR ELEVATIONS**

1/8" = 1'-0"  
0 2 4 8 16  
SCALE IN FEET



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EXTERIOR ELEVATIONS  
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Tucker, GA 30084

NO.	DESCRIPTION	DATE
0	Perm	10/06/2021

PROJECT NUMBER  
21136

DESCRIPTION  
EXT. ELEVATIONS

DRAWING NUMBER

**A-2**