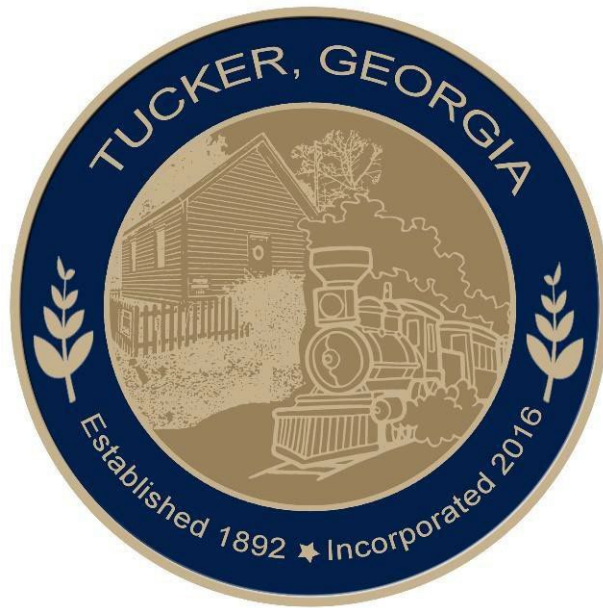


City of Tucker

Invitation to Bid
ITB # 2024-016

PETERS PARK RESTROOM CONSTRUCTION



BID MANUAL

City of Tucker
1975 Lakeside Parkway, Suite 350
Tucker, Georgia 30234

City of Tucker Invitation to Bid
ITB #2024-016
Peters Park Restroom Construction

INVITATION: The City of Tucker, Georgia requests that interested parties submit bids for the Peters Park Restroom Construction Project. Bids will be accepted until the date and time listed below and will be awarded to the responsive and responsible bidder whose bid, conforming with all the material terms and conditions of the ITB, is the lowest in price. Addenda and updates to this bid manual will be posted on the City of Tucker website <http://tuckerga.gov/bids> or may be requested by email procurement@tuckerga.gov.

BID ACTIVITY SCHEDULE	
Invitation to Bid Issued	August 27, 2024
Deadline for Questions	September 10 at 1:00 p.m. EST
Responses to Questions Posted (Addenda)	September 13, 2024
Bid Deadline	September 26, 2024, at 4:00 p.m. EST
Award at Council Meeting	October 15, 2024 (Tentative)
Completion from Notice to Proceed	120 calendar days

SCOPE OF WORK: Refer to Exhibit A.

PRE-BID CONFERENCE: A pre-bid conference will not be scheduled for this project.

QUESTIONS: Submit all questions in writing to procurement@tuckerga.gov. Reference ITB #2024-016 in the subject line of the email no later than September 10, 2024 at 1:00pm EST.

ADDENDA: Responses to the questions received will be by addenda and will be posted on the City website www.tuckerga.gov/bids. The signed acknowledgement issued with each addendum must be submitted with the proposal. It is the vendors responsibility to verify if any addenda were created.

SUBMITTAL REQUIREMENTS: Vendor shall submit ITB Response no later than September 26, 2024 at 4:00 p.m. EST electronically to procurement@tuckerga.gov with the subject line “Submittal: ITB #2024-016”. The email must contain the vendor’s contact information. Bid Submittal should be one PDF file and named <Company Name>.ITB 2024-016.Bid Submittal.pdf The submittal email will be opened to confirm receipt of the submittal; however, the attached PDF file will remain unopened until the public opening.

BID OPENING: All bids received prior to the deadline will be opened publicly on Thursday, September 26, 2024 at 4:05pm EST at Tucker City Hall located at 1975 Lakeside Parkway, Suite 350, Tucker, Georgia.

BID TABULATON: Preliminary Bid results will be posted on the City’s website, www.tuckerga.gov/bids, following the bid opening.

BID DOCUMENT SUBMITTAL REQUIREMENTS:

1. Unit Price Cost Proposal Form – Exhibit B
2. W-9 Form (provided)
3. Certificate of Current Insurance
4. Proposed List of Subcontractors Form (provided)
5. E-Verify Affidavit Form (provided)
6. E-Verify Subcontractor Affidavit Form (provided)
7. Bid Bond Form (provided)
8. Contact Information Form (provided)
9. Related Experience and References Form (provided)
10. Oath of Non-Collusion Form (Provided)
11. Acknowledgement of Addendum issued with each Addendum.

All responses must be received electronically by the Bid Deadline. (Addenda will show any schedule updates). No bids will be received orally or by phone. Late bids will not be considered. Bids received after the deadline will be filed unopened. The City of Tucker reserves the right to reject any and all bids or any part, to waive any formalities to make an award and to re-advertise in the best interest of the City.

The city reserves the right to negotiate pricing and may, in its discretion, award a contract to the lowest responsible and responsive bidder submitting the proposal.

Exhibit A:
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

PURPOSE, INTENT AND PROJECT DESCRIPTION

The City of Tucker (City), requests that interested parties submit formal electronic bids for the construction of a new two-stall restroom building, including water and sanitary sewer connections to existing water and sanitary sewer infrastructure. This document in its entirety for ITB 2024-016 Peters Park Restroom Construction is available for download on the City of Tucker website: www.tuckerga.gov/bids or request via email to procurement@tuckerga.gov.

GENERAL CONDITIONS

The contractor shall execute the work according to and meet the requirements of the following:

- DeKalb County Design & Construction Standards Manual
- The Contract Documents including but not limited to the scope of work, plans, and specifications.
- City of Tucker ordinances and regulations.
- OSHA standards and guidelines
- Any other applicable codes, laws and regulations including but not limited to Section 45- 10-20 through 45-10-28 of the Official Code of Georgia Annotated, Title VI of the Civil Rights Act, Drug-Free Workplace Act, and all applicable requirements of the Americans with Disabilities Act of 1990.

The contractor will be responsible for providing all labor, materials, and equipment necessary to perform the work. This is a unit price bid. Payment will be made based on actual work completed.

The contractor is responsible for inspecting the jobsite prior to submitting a bid. No change orders will be issued for differing site conditions.

The successful bidder must have verifiable experience at construction of similar projects in accordance with these specifications. The bidder shall provide at least three examples and reference information (including company name, project name, contact name, phone number and email address) demonstrating experience successfully completing projects of similar scope.

5% retainage will be withheld from the total amount due the contractor until Final Acceptance of work is issued by the City. The City will inspect the work as it progresses.

PROSECUTION AND PROGRESS

The Contractor will mobilize with sufficient forces such that all construction identified as part of this contract shall be substantially completed by 120 calendar days of Notice to Proceed. The contractor will be considered substantially complete when all work required by this contract has been completed (excluding punch list work).

Upon Notice of Award, the Contractor will be required to submit a Progress Schedule.

The normal workday for this project shall be 8:00AM to 7:00PM and the normal workweek shall

Exhibit A
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

be Monday through Friday. The City will consider extended workdays or workweeks upon written request by the Contractor on a case-by-case basis. No work will be allowed on national holidays (i.e. Memorial Day, July 4th, Labor Day, etc.).

The work will require the bidder to provide all labor, administrative forces, equipment, materials and other incidental items to complete all required work. The City shall perform a Final Inspection upon substantial completion of the work. The contractor will be allowed to participate in the Final Inspection. All repairs shall be completed by the contractor at the contractor's expense prior to issuance of Final Acceptance.

The contractor shall be assessed liquidated damages in the amount of \$500.00 per calendar day for any contract work (excluding punch list) that is not completed by 120 calendar days. Liquidated damages shall be deducted from the 5% retainage held by the City. The contractor will also be assessed liquidated damages in the amount of \$500.00 per calendar day for not completing any required Punch List work within 45 calendar days.

The contractor shall provide all material, labor, and equipment necessary to perform the work without delay until final completion.

The contractor shall submit a two-week advance schedule every **Friday by 2:00p.m.**, detailing the scheduled activities for the following week.

PERMITS AND LICENSES

The contractor shall procure all permits and licenses, pay all charges, taxes and fees, and give all notices necessary and incidental to the due and lawful prosecution of the work.

BONDING AND INSURANCE REQUIREMENTS

No bid may be withdrawn for a period of ninety (90) days after the bid deadline.

All bids must be accompanied by a Bid Bond of a reputable bonding company authorized to do business in the State of Georgia, in an amount equal to at least five percent (5%) of the total amount of the bid.

Upon Notice of Award, the successful contractor shall submit a Performance Bond payable to the City of Tucker in the amount of 100% of the total contract price. The successful contractor shall also submit a Payment Bond in the amount of 100% pursuant to O.C.G.A. § 36- 91-70 and 90.

The contractor shall procure and maintain the following insurance policies:

1. Commercial General Liability coverage at their sole cos and expense with limits of not less than \$3,000,000 in combined single limits for bodily injury and/or property damage per occurrence, and such policies shall name the City of Tucker as an additional named insured.
2. Statutory Workers Compensation and Employers Liability Insurance with limits of not less than \$1,000,000, which insurance must contain a waiver of subrogation against the City of Tucker and its affiliates.
3. Commercial automobile liability insurance with limits of not less than \$1,000,000 combined single limit for bodily injury and/or property damage per occurrence, and such policies shall name the City of Tucker as an additional named insured.

Exhibit A
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

EXISTING CONDITIONS / DEVIATION OF QUANTITIES

All information given in this ITB concerning quantities, scope of work, existing conditions, etc. is for information purposes only. It is the Contractor's responsibility to inspect the project site to verify existing conditions and quantities prior to submitting their bid. This is a Unit Price bid and no payment will be made for additional work without prior written approval from the City. At no time will Contractor proceed with work outside the prescribed scope of services for which additional payment will be requested without the written authorization of the City.

The City reserves the right to add, modify, or delete quantities. The City may also elect to add or eliminate certain work locations at its discretion. The Contractor will not be entitled to any adjustment of unit prices or any other form of additional compensation because of adjustments made to quantities and/or work locations. The contractor will be paid for actual in-place quantities completed and accepted for pay items listed in the Bid Schedule. All other work required by this ITB, plans, specs, standards, etc. but not specifically listed in the Bid Schedule shall be considered "incidental work" and included in the bid prices for items on the Bid Schedule.

PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE

The contractor shall be responsible for the preservation of all public and private property, crops, fish ponds, trees, monuments, highway signs and markers, fences, grassed and sodded areas, etc. along and adjacent to the highway, road or street, and shall use every precaution necessary to prevent damage or injury thereto, unless the removal, alteration, or destruction of such property is provided for under the contract.

When or where any direct or indirect damage or injury is done to public or private property by or on account of any act, omission, neglect or misconduct in the execution of the work, or in consequence of the non-execution thereof by the contractor, he shall restore, at his/her own expense, such property to a condition similar or equal to that existing before such damage or injury was done, by repairing, rebuilding or otherwise restoring as may be directed, or she/he shall make good such damage or injury in an acceptable manner. The contractor shall correct all disturbed areas before retainage will be released.

ADJUSTING UTILITY STRUCTURES TO GRADE

All sewer manholes and water valves are to be adjusted by the DeKalb County Department of Watershed Management. The contractor shall coordinate required utility adjustments with the CEI inspector.

CLEANUP

All restoration and clean-up work shall be performed daily. Operations shall be suspended if the contractor fails to accomplish restoration and clean-up within an acceptable period of time. Asphalt and other debris shall be removed from gutters, sidewalks, yards, driveways, etc. Failure to perform clean-up activities may result in suspension of the work. Milling operation shall be followed immediately by clean-up at which the contractor is to provide power brooms, vacuum sweepers, power blowers, or other means to remove loose debris or dust. Do not allow dust control to restrict

Exhibit A
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

visibility of passing traffic or to disrupt adjacent property owners. All pavement areas shall be clean and dry prior to placing tack coat, asphaltic concrete or other materials.

SAFETY

Beginning with mobilization and ending with acceptance of work, the contractor shall be responsible for providing a clean and safe work environment at the project site. The contractor shall comply with all OSHA regulations as they pertain to this project.

SPECIAL CONDITIONS

1. Contractor to call 811 for utility locations. Minor field adjustments may be necessary or directed by the City.

RESTROOM AND CONCESSION BUILDING

The scope of the project is to be the Design and providing a set of Issued for Construction documents for a new +/- 250 sf Single Story Free Standing Building under the existing pavilion, utilizing existing pavilion roof as bathroom roof, that will contain the following Spaces:

- 2(ea) Family Restrooms
- Storage, Janitor, Mechanical and Electrical Room
- Maintenance Chase (with access) Separating Men's & Women's Restrooms

Design Criteria

Code Compliances:

- Applicable Design Codes by local municipality building authorities requirements
- U.S. Department of Justice A.D.A. Standards for Accessible Design (ADA) – 2010 edition
- State Registered Architect/Engineer/Design Professional Signed, Sealed & Dated w/registration number on all sheets
- Construction Type: VB
- Occupancy Classification: Assembly
- Fire Rating Construction: Non-Rated Building
- Sprinkler Requirement: Non-Sprinkled
- Allowable Building Height & Area: Single Story & (area to be determined)
- Occupancy Load Calculations (per LSC) (to be determined)
- Plumbing Fixture Requirements / Proposed Fixture Count (including calc's) (to be determined)

Design Loads:

- Live Loads:
 - o 100 PSF FLOORS
- Wind Design Data:
 - o Risk Category: Category II
 - o Exposure Category: Category C
 - o Basic Design Wind Speed: V=106mph

Exhibit A
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

- o Allowable Stress Design Wind Speed: V=89mph
- o Enclosure Classification: Enclosed
- o Internal Pressure Coefficient: +/- 0.18

Seismic Design Data:

- o Risk Category: Category II
- o Seismic Importance Factor: 1.0
- o Mapped Spectral Response Accelerations: (to be determined)
- o Site Class: (to be determined)
- o Design Base Shear: (to be determined)
- Snow Loads: Ground Snow Load: 5 PSF

Scope of Material

ARCHITECTURAL

Foundation - (see Structural below for further information)

- 4" reinforced concrete monolithic slab, 3000 PSI

Exterior Walls - (see Structural below for further information)

- Concrete reinforced masonry units (CMU)
- Mortar joint: Gray
- Unit Size: Typical Nominal 8"x16"x8"
- Surface Finishes: Split Face
- Block Color: Standard Gray
- Exterior block to have anti-graffiti coating

Exterior Doors and Frames

- Exterior insulated composite metal doors (Level III, 16 gauge, extra heavy duty, model two seamless w/polyurethane core)
- Welded steel frame (16 gauge w/backbend turns)
- Both doors and frames to be powder coated (color selected by owner)

Interior Walls - (see Structural below for further information)

- Concrete reinforced masonry units (CMU)
- Mortar joint: Gray
- Unit Size: Typical nominal 8"x16"x6"
- Surface Finishes: Standard (smooth)
- Block Color: Standard Gray

Interior Ceilings

- Hard surface - smooth, washable and mildew resistant surface finish - all rooms including service chase

Interior Doors and Frames

Exhibit A
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

- Insulated composite metal doors (Level III, 16 gauge, extra heavy duty, model two seamless w/polyurethane core)
- Welded steel frame (16 gauge w/backbend turns)
- Both doors and frames to be powder coated (color selected by owner)

Hardware

- Stainless steel ball bearing heavy duty hinges
- Heavy duty door closers
- Doors to have stainless steel kick plates (both sides) w/ aluminum thresholds for exterior doors
- Doors to have grade 2, lever locks with latch plate guards
- Restroom doors to have magnetic locking system w/ locked indicator light
- Hardware to meet ADA compliance

ADA Restrooms

- Wall mounted, top supply, stainless steel toilets w/ exposed sensor flush valves
- Wall mounted stainless steel sinks w/ motion sensor faucets, hardwired with transformer
- Surface mounted mirrors with stainless steel frames
- Wall mounted light fixture above mirror at sinks
- Wall mounted stainless steel 2-roll toilet paper dispensers
- Wall mounted stainless steel soap dispensers
- Wall mounted stainless steel electric hand dryers
- Surface mounted diaper deck
- ADA grab bars to meet code and fixture count

Finishes - (colors selected by owners)

- Concrete floor to be stained and sealed
- Walls to receive 4" rubber cove base
- Painted surfaces to receive prime coat and one finish coat
- All rooms to receive epoxy paint

STRUCTURAL

(see Architectural for other structural associated information)

Foundation

- Continuous reinforced concrete spread footings.
- Allowable soil bearing pressure presumed to be 2,000 psf, to be confirmed with geotechnical exploration
- Reinforced slab on grade on 4" compacted GAB
- Concrete:
 - o F'c= 3,000 psi for footings
 - o F'c= 4,000 psi for slabs. Provide air entrainment for exposed slabs on grade

Wall Framing

- Exterior walls: 8" reinforced split face cmu, F'm = 2,000psi
- Interior walls: 8" reinforced standard cmu, F'm = 2,000psi

Exhibit A
Project Specifications/Scope of Work
ITB #2024-016 Peters Park Restroom Construction

MECHANICAL, ELECTRICAL & PLUMBING
(see Architectural for other MEP associated information)

Electrical

- New electrical panel sized for the new restroom building
- Motion sensor interior lights. Comcheck report for lighting to confirm code compliance
- Exterior Security wall pack lights (photocell)
- Wall outlets and required GFI outlets per code
- Circuiting for lighting and electric outlets
- Circuiting for the water heater
- Provide (2ea) 1" PVC conduits from electrical panel to outside of building for future needs

Plumbing

- Frost free hose bibs w/ recessed security box located on each exterior wall
- Frost free hose bibs w/ recessed security box located in each space (except service chase)
- Water service to include isolation valves and backflow preventer
- Waste system to include cleanouts
- Floor Drains in each space with trap primers
- Tank type water heater serving the lavatories in the restrooms, water heater to be located in the Mechanical Storage room
- Thermostatic mixing valve for the hot water serving the toilet room lavatories to prevent scald

ITB #2024-016 Peters Park Restroom Construction
Exhibit B: Unit Price Cost Proposal

<u>Item #</u>	<u>Item Description</u>	<u>UNIT</u>	<u>Qty</u>	<u>UNIT COST</u>	<u>TOTAL COST</u>
1	Grading Complete		1		
2	1" PVC Water Service Line, Incl. Connection to Existing Service Line	LF	150		
3	4" PVC Sanitary Sewer Lateral, Incl. Cleanouts and Connection to Ex. Manhole w/Outside Drop Connection	LF	170		
4	Remove and Replace 4" Concrete Sidewalk	SF	100		
5	Bathroom Building		1		

*In case of discrepancy between the unit price and the total price on the completed Bid Schedule, the unit price will prevail, and the total price will be corrected.

Proposal Price Certification

In compliance with the attached specification, the undersigned understands the City's minimum scope requirements.

The undersigned offers and agrees that if this proposal is accepted by the Mayor and City Council within one hundred twenty (120) days of the date of proposal opening, that the undersigned will furnish any or all of the deliverables and additional services offered, at the quoted price, to the designated point(s) within the time specified.

COMPANY _____

ADDRESS _____

AUTHORIZED SIGNATURE _____

PRINT / TYPE NAME _____

CONTACT'S PHONE NUMBER _____

CONTACT'S EMAIL ADDRESS _____

Construction Drawings for William McKinley Peters Park Restroom City of Tucker, GA

**1832 CLARK DR.
TUCKER, GA 30084**
PARCEL: 1818504022
ZONING: R-75
ZONING TYPE: RESIDENTIAL MEDIUM LOT

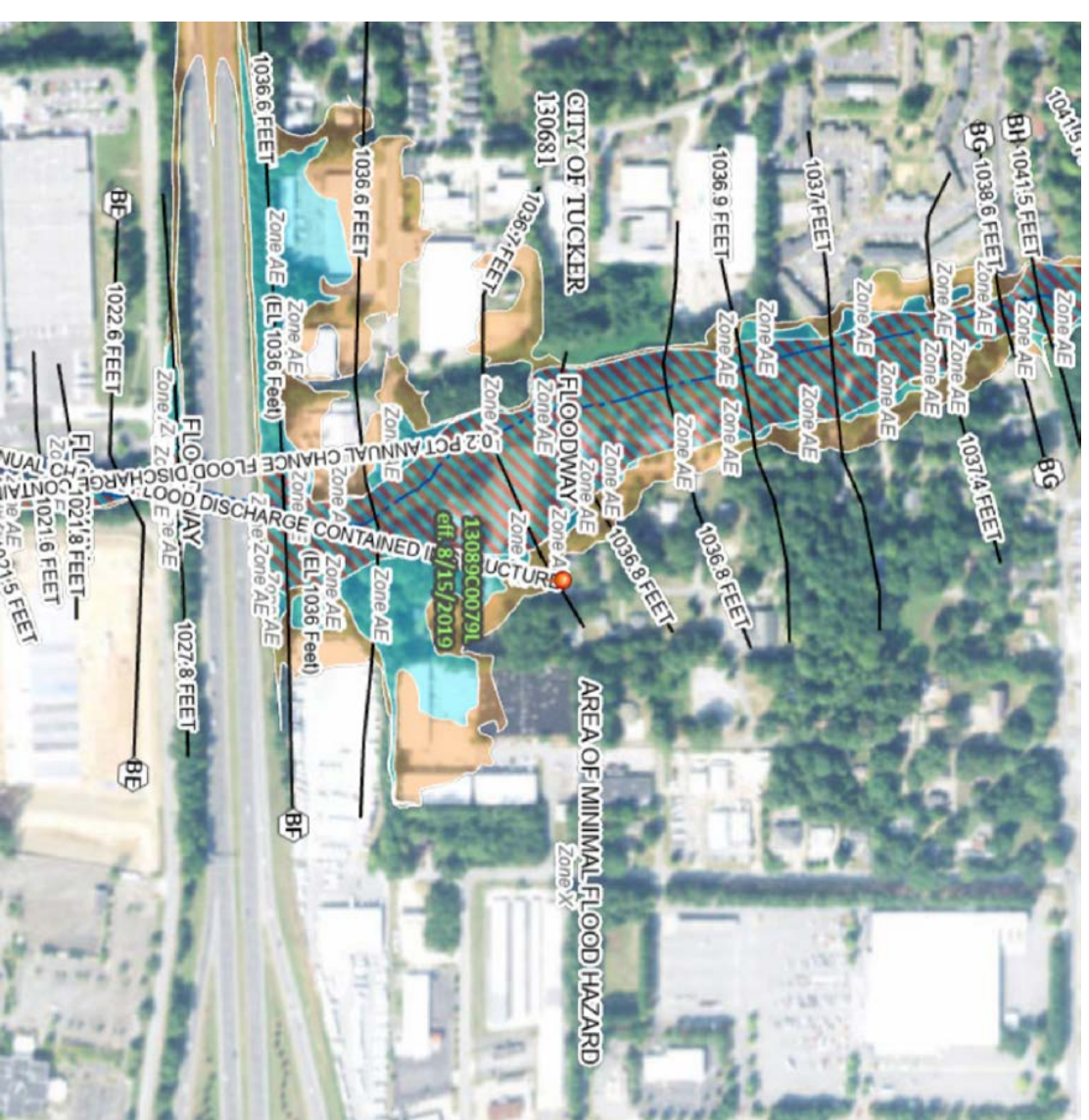
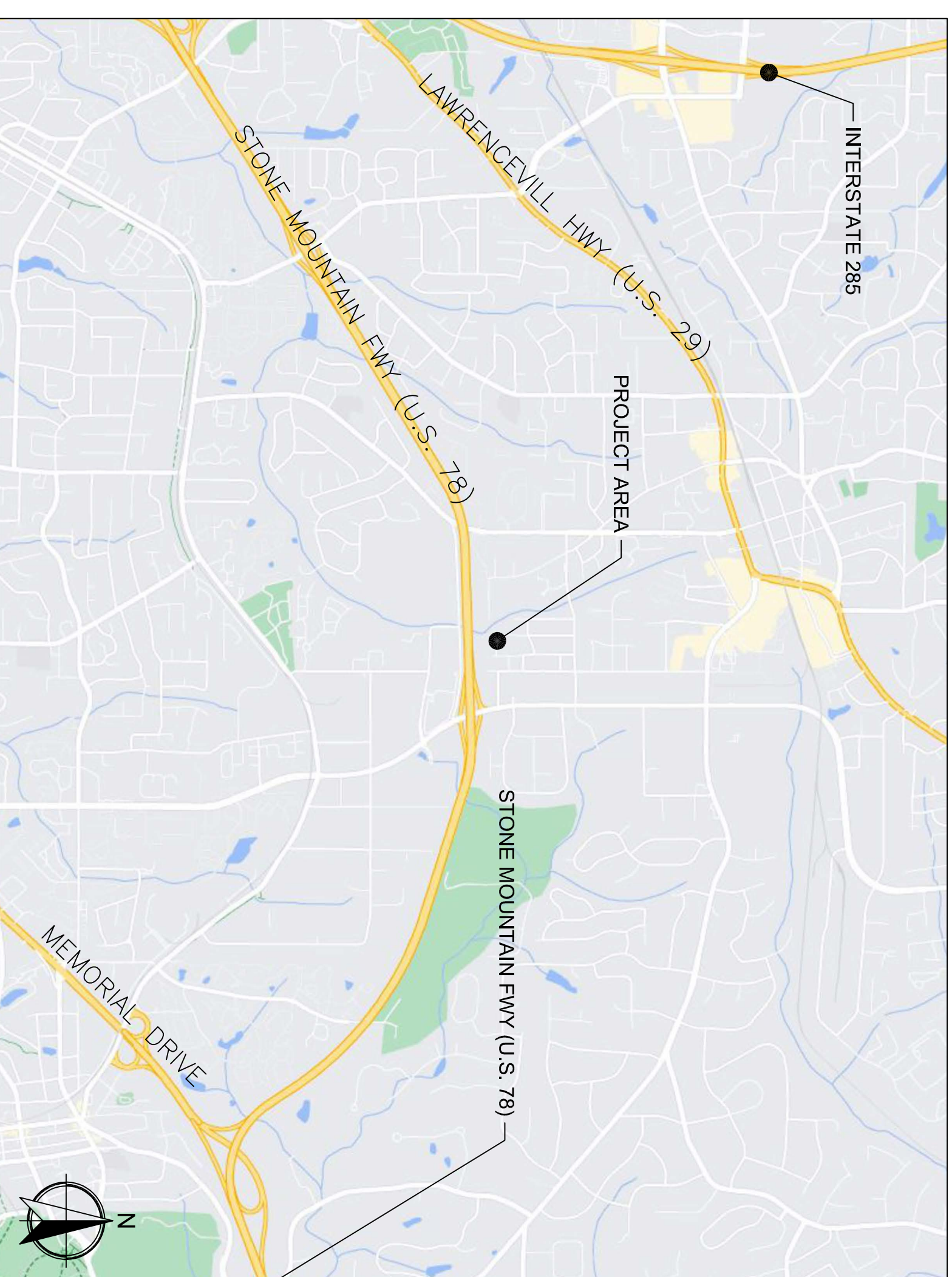
PLANS DEVELOPED FOR:
CITY OF TUCKER
4898 LAVIISTA RD.
TUCKER, GA 30084
CONTACT: RIP ROBERTSON
PHONE: (470) 273-3076

PLANS DEVELOPED BY:
KECK & WOOD INC.
3090 PREMIER PKWY, STE 200
DULUTH, GA 30097
PHONE: 678-417-4025
CONTACT: ADAM SHELTON

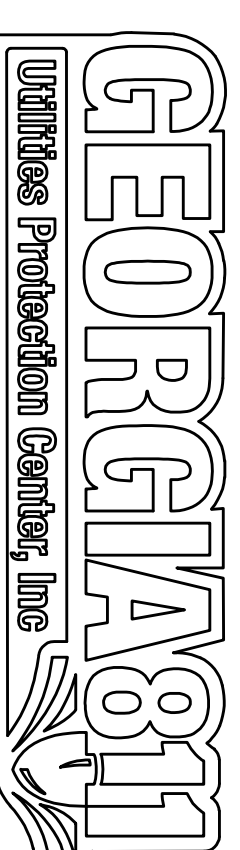
PROJECT DIRECTORY
CIVIL ENGINEER/PROJECT MANAGER
KECK & WOOD INC.
CONTACT: ADAM SHELTON, P.E.,
PHONE: 678-417-4025
EMAIL: ASHELTON@KECKWOOD.COM

UTILITY DIRECTORY
ELECTRIC SERVICE PROVIDER:
GEORGIA POWER
1697 MONTREAL CIR.
TUCKER, GA 30084
PHONE: 888-660-5890

WATER/SEWER/ELECTRIC PROVIDER:
DEKALB COUNTY WATER OPS
1580 ROADHAVEN DR.
STONE MOUNTAIN, GA 30083
PHONE: 770-621-7200



Sheet List Table	
Sheet Number	Sheet Title
CO.0	COVER SHEET
CO.1	GENERAL NOTES
C1.0	SITE AND UTILITY PLAN
ECL.0	EROSION CONTROL PLAN



Know what's below.
Call before you dig.

NO.	DATE	REVISION



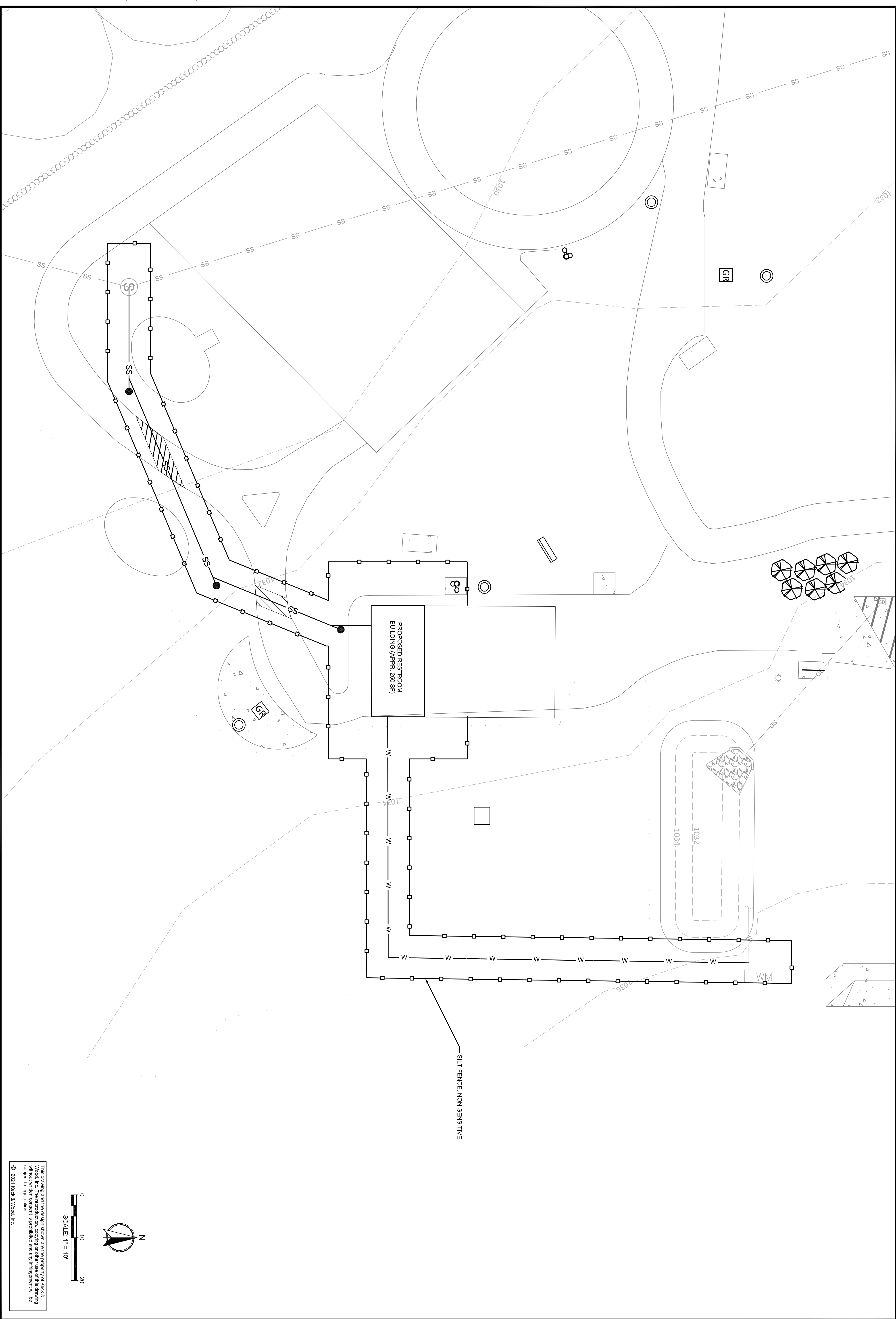
WILLIAM MCKINLEY PETER PARK
1832 Clark Dr.
Tucker, Georgia

COVER SHEET

Project Manager: ADAM SHELTON	Checked By: AS
Drawn By: MW	AS
Date: 08/16/2024	Scale: As Shown

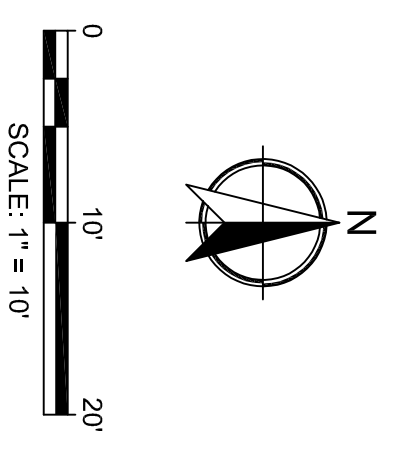
Project No.:	230154
Drawing No.:	C0.0

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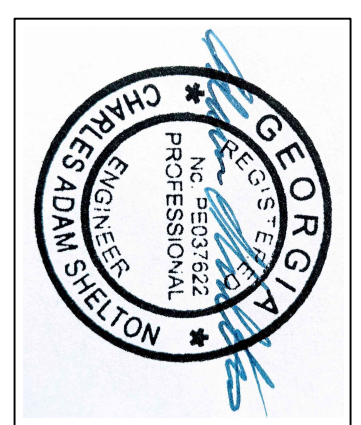
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WILLIAM MCKINLEY PETER PARK
 1832 Clark Dr.
 Tucker, Georgia

EROSION CONTROL PLAN

NO.	DATE	REVISION



Keck+Wood
 COLLABORATION BY DESIGN

3090 Premiere Parkway, Suite 200
 Duluth, GA 30097
 (678) 417-4000
 keckwood.com

Project No.: **230154**

Drawing No.: **EC1.0**

Project Manager: **ADAM SHELTON**

Drawn By: **MW** Checked By: **AS**

Date: **08/16/2024**

Scale: **As Shown**

THIS BAR IS 1 INCH LONG PLOTTED FULL SCALE

GENERAL NOTES:

1. TOTAL DISTURBED AREA = 0.09 AC. A NOI WILL NOT BE REQUIRED FOR THIS PROJECT.
2. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE GEORGIA COORDINATE SYSTEM, WEST ZONE. VERTICAL DATUM USED IS NAVD 83.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE ACTIVITIES AND SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION OR AS DIRECTED BY THE ENGINEER.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION LAYOUT NECESSARY FOR PROPER GUIDANCE AND CONTROL IN THE PERFORMANCE OF ALL ITEMS OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS SHALL INCLUDE ALL ACTIVITIES NECESSARY FOR THE PLACING, REPLACING IF NECESSARY AND MAINTAINING OF ALL CONSTRUCTION LAYOUT POINTS.
5. CONTRACTOR TO COORDINATE WITH CITY ON ALL UTILITIES TO BE ADJUSTED TO FINISHED GRADE UNLESS NOTED OTHERWISE, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWER MANHOLES, WATER METERS, WATER VALVES, GAS METERS, GAS VALVES, AND FIRE HYDRANTS.
6. THE CONTRACTOR SHALL REPLACE OR REPAIR ANY FEATURES DAMAGED DURING CONSTRUCTION NOT INTENDED FOR DEMOLITION; INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURING, SIDEWALKS, LANDSCAPING, SIGNS, UTILITIES OR HARDSCAPE ITEMS.
7. PRIOR TO COMMENCING WORK, CONTRACTOR SHALL ACCURATELY LOCATE ABOVE AND BELOW GROUND UTILITIES WHICH MAY BE AFFECTED BY THE WORK. MARK THE LOCATION OF EXISTING UTILITIES AND PRESERVE AND PROTECT ALL UTILITIES NOT DESIGNATED FOR REMOVAL, RELOCATION OR REPLACEMENT IN THE COURSE OF CONSTRUCTION. PROVIDE AT LEAST 72 HOURS ADVANCE NOTICE TO THE UTILITY OWNER PRIOR TO BEGINNING CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITY LINE. FOR EXISTING LOCATION ASSISTANCE, CONTACT THE UNDERGROUND UTILITIES PROTECTION CENTER AT GEORGIA 811.
8. UTILITIES SHOWN ON PLANS ARE APPROXIMATELY LOCATED. ALL EXISTING UTILITIES MAY NOT HAVE BEEN FIELD LOCATED. UTILITIES ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF AND PRESERVING ALL UTILITIES INCLUDING THOSE NOT SHOWN OR INCORRECTLY SHOWN ON THE PLANS. UTILITIES IN THE AREA INCLUDE, BUT ARE NOT LIMITED TO, GAS, WATER, ELECTRICAL, SANITARY SEWER, CABLE AND TELEPHONE.
9. CONTRACTOR TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING IMPROVEMENTS WHICH EFFECT NEW WORK PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES EXIST.
10. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCY BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER AND ENGINEER IN WRITING OR BY OTHER MEANS DICTATED BY THE CONTRACT. ANY WORK DONE AFTER SUCH DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
11. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING ABOVE AND BELOW GRADE UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER OR UTILITY PROVIDER.
12. CONTRACTOR IS TO MAINTAIN UTILITY SERVICES, INCLUDING WATER, SANITARY SEWER, STORM SEWER, NATURAL GAS, ELECTRIC, AND TELEPHONE AT ALL TIMES DURING CONSTRUCTION.
13. CONTRACTOR IS TO KEEP ALL PARKING AREAS, ALLEYS, AND STREETS ADJACENT TO THE CONSTRUCTION SITE CLEAN AT ALL TIMES DURING CONSTRUCTION.
14. THE CONTRACTOR SHALL ENSURE POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS.
15. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CURRENT GEORGIA DEPARTMENT OF TRANSPORTATION (GDOT) STANDARD DETAILS AND THE GDOT STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF TRANSPORTATION SYSTEMS, 2021 EDITION, AND SUPPLEMENTS THERETO, AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION.
16. UTILITY WORK COORDINATION WILL BE REQUIRED AS PART OF THIS CONTRACT. THE CONTRACTOR WILL BE REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER, 811, FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. THE CONTRACTOR'S ATTENTION IS CALLED TO SUBSECTION 105.06 OF THE GDOT STANDARD SPECIFICATIONS "COOPERATION WITH UTILITIES"
17. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED BY THE UTILITY OWNER OR A "LOCATE" FIRM PRIOR TO EARTH DISTURBING ACTIVITIES.
18. THE CONTRACTOR SHALL STRICTLY ADHERE TO DUST CONTROL REGULATIONS. ALL AREAS SUBJECTED TO DUST FORMATION MUST BE PERIODICALLY WATERED SUFFICIENT TO RETARD DUST.
19. TYPE OF GRASS OR SOD USED ON THIS PROJECT WILL BE REQUIRED TO MATCH TYPE OF GRASS OR SOD WHICH MAY BE PLANTED AND GROWING ON THE ADJACENT LAWN. I.E. BERMUDA SOD FOR BERMUDA SOD, ZOYSIA FOR ZOYSIA ETC.
20. INGRESS AND EGRESS SHALL BE MAINTAINED AT ALL TIMES TO ADJACENT PROPERTIES. REFER TO SUB-SECTION 107.07 OF THE GDOT STANDARD SPECIFICATIONS.
21. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH SUITABLE BORROW MATERIAL FOR THE PROJECT AND DISPOSE OF ANY UNSUITABLE OR WASTE MATERIAL.
22. CONTRACTOR TO MAINTAIN ACCESS TO BUILDINGS AT ALL TIMES BY USE OF GRAVEL, TEMPORARY SIDEWALKS, OR OTHER MEANS FOR SAFE PEDESTRIAN TRAVEL.
23. CONTRACTOR IS TO PREVENT DAMAGE TO BUILDINGS, UTILITIES, AND OTHER FEATURES TO REMAIN. CONTRACTOR TO REPAIR DAMAGED FEATURES TO ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE.

24. THE CONTRACTOR SHALL OBSERVE ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS REGARDING PIPE INSTALLATION IN TRENCHES.

25. ALL SILT FENCES MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING, NO GRADING SHALL BE DONE UNTIL SILT FENCE INSTALLATION IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SILT FENCES AND TO REPAIR OR REPLACE ANY SILT FENCE THAT IS NOT SATISFACTORY. EROSION CONTROL GATES SHALL BE PLACED IMMEDIATELY AFTER DRAINAGE STRUCTURES ARE IN PLACE. ALL EROSION CONTROL DEVICES SHALL BE PLACED ACCORDING TO THE PLANS AND AS DIRECTED BY THE ENGINEER. SEE THE GEORGIA STANDARD SPECIFICATIONS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA", CURRENT EDITION REGARDING EROSION CONTROL.

26. CONTRACTOR TO ENSURE THAT ALL PROPOSED CONCRETE IS FINISHED TO THE SATISFACTION OF THE CITY OF TUCKER. CONTRACTOR TO COORDINATE WITH THE CITY OF TUCKER AND ENGINEER TO REVIEW THE FIRST CONCRETE POUR, PRIOR TO MOVING FORWARD WITH THE REMAINING CONCRETE PLACEMENT.

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A MARKED-UP SET OF DESIGN DRAWINGS SHOWING AS-BUILT CONDITIONS. THESE RECORD DRAWINGS SHALL BE MADE AVAILABLE TO THE DESIGNER, OWNER, AND/OR THE INSPECTOR UPON REQUEST. THE MARK-UPS SHALL BE KEPT AT THE SITE AT ALL TIMES DURING CONSTRUCTION AND PROVIDED TO THE OWNER AT THE END OF CONSTRUCTION.

28. THE CONSTRUCTION (MATERIALS AND INSTALLATION) OF ALL WATER MAINS, SERVICE LINES, VALVES, AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH DEKALB COUNTY SPECIFICATIONS, ORDINANCES, AND STANDARD DRAWINGS.

29. THE CONSTRUCTION (MATERIALS AND INSTALLATION) OF ALL GRAVITY SEWER MAINS, SERVICE LINES, MANHOLES, CONNECTIONS, AND CLEANOUTS SHALL BE IN ACCORDANCE WITH DEKALB COUNTY SPECIFICATIONS, ORDINANCES, AND STANDARD DRAWINGS.

30. COMPACTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

31. ALL PIPE ELEVATIONS SHOWN ARE TO THE INVERT UNLESS NOTED OTHERWISE.

32. DEMOLITION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED IN THE CONTRACT OR PROJECT SPECIFICATIONS. ALL WASTE SOLS, VEGETATION, AND OTHER DELETERIOUS MATERIALS SHALL BE HAULED OFF-SITE AND DISPOSED OF AT AN APPROVED LOCATION IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. BURNING WILL NOT BE ALLOWED ON THIS PROJECT UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE CITY.

33. THE CONTRACTOR SHALL BE REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND WITHIN THE PROPERTY IDENTIFIED AS PETERS PARK AS SHOWN ON THE PLANS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, VEHICLES AND EQUIPMENT LIMITS OF TRENCH EXCAVATION, AND EXCAVATED MATERIAL AND BACKFILL STORAGE. IF THE CONTRACTOR REQUIRES ADDITIONAL CONSTRUCTION EASEMENTS IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SUCH EASEMENTS FROM INDIVIDUAL PROPERTY OWNERS. THE CONTRACTOR IS ALLOWED TO CLEAR ONLY THE AREA DEEMED NECESSARY FOR CONSTRUCTION ACTIVITIES.

34. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UTILITIES NOT LOCATED BY THE UTILITY PROTECTION CENTER.

35. FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVED BY THE CITY OF TUCKER BEFORE CHANGES ARE IMPLEMENTED.

36. PROJECT LOCATED WITHIN THE CITY. THE DEVELOPER SHALL PROVIDE A MAINTENANCE BOND TO DEKALB COUNTY WATERSHED MANAGEMENT PRIOR TO APPROVAL OF AS-BUILT PLANS.

37. WATER AND SEWER FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCE:

- 53.1 NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC.
- 53.2 THESE FEES ARE TO BE PAID AT 330 WEST PONCE DE LEON AVE, 2ND FLOOR.
- 53.3 FAILURE IN PAYMENT OF THESE FEES WILL RESULT IN POSTPONEMENT OF THE PLAN REVIEW PROCESS.

53.4 CALL (404) 371-4918 FOR FEE CALCULATIONS OR ANY QUESTIONS.

38. CONTRACTOR TO NOTIFY THE DWM CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

INSPECTOR	CONTACT NO	EMAIL	COVERAGE AREAS
MORGIE MCGUIRE	770-687-4060	McGur@dekabccountyga.gov	SENIOR INSPECTOR
LONNIE KELLEY	404-371-2149	lkelley@dekabccountyga.gov	15 th , 16 th , 12 th
BRUCE MAYHEW	404-371-3218	brmayhew@dekabccountyga.gov	15 th , 16 th , 11 th
DANIEL TUCKER	404-687-4050	dtucker@dekabccountyga.gov	18 th & 6 th
LES MOSELY	404-371-3213	lmosley@dekabccountyga.gov	18 th & 6 th
JOSEPH YOUNG	678-794-3880	jyoung@dekabccountyga.gov	16 th & 12 th

39. TO PURCHASE A COPY OF THE DESIGN STANDARDS, PLEASE CALL (770) 414-2383 OR (770) 621-7272.

40. CONTRACTOR SHALL NOTIFY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT INSPECTOR 48 HOURS PRIOR TO START OF CONSTRUCTION.

Water Notes:

1. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND STRUCTURES ALONG THE PROPOSED ALIGNMENT. CONTRACTOR IS TO NOTIFY THE OWNER OR ENGINEER ANY CONFLICTS THAT MAY ARISE DUE TO UTILITY LOCATIONS.
2. MINIMUM ALLOWABLE DEPTH OF COVER IS 4- FEET UNLESS NOTED OTHERWISE. MAXIMUM ALLOWABLE DEPTH OF COVER IS 6.5- FEET. UNLESS NOTED OTHERWISE CONTRACT CITY OF TUCKER PARKS AND RECREATION DIRECTOR, RIP ROBERTSON, FOR REVIEW AND APPROVAL. OF ALL PIPE WITH DEPTHS GREATER THAN 6.5- FEET.
3. BEING INDICATED IN THE DRAWINGS ARE ESTIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF BENDS & OTHER FITTINGS DEEMED NECESSARY TO AVOID CONFLICTS AND ADJUST WATER LINE DEPTH AS NECESSARY. CONTRACTOR SHALL NOT EXCEED MANUFACTURER'S MAXIMUM DEFLECTION ANGLE BETWEEN JOINTS.
4. ALL WATER MAINS AND SERVICE LINES SHALL BE BACKFILLED AND COMPACTED, PRESSURE TESTED, STERILIZED, PASS THE BACTERIA TEST PER DEKALB COUNTY SPECIFICATIONS, AND BE ACCEPTED BY THE CITY PRIOR TO CUSTOMER TIE-IN. INTERRUPTER TIE-INS REQUIRE 72-HOURS ADVANCED NOTIFICATION OF SERVICE INTERRUPTIONS. TIE-INS MAY REQUIRE BEING DONE DURING EVENINGS OR ON WEEKENDS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF TUCKER'S PROJECT COORDINATOR FOR ALL WATER LINE FACILITY WORK. RIP ROBERTSON (PHONE: 470-273-3076).
5. DURING ALL TIMES OF CONSTRUCTION, CONTRACTORS IS TO HAVE ON HAND ALL MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE A REPAIR OF ANY POTENTIAL AND/OR UNFORESEEN EXISTING WATER MAIN AND/OR SERVICE LINE BREAK.
6. CONTRACTOR IS PROHIBITED FROM LEAVING EXCAVATED AREAS OPEN OVERNIGHT. EXCAVATED AREAS SHALL EITHER BE BACKFILLED AND COMPACTED FLUSH TO GRADER OR STEEL PLATES OF SUFFICIENT THICKNESS WILL BE USED ATOP EXCAVATION.
7. CONTRACTOR SHALL NOTIFY DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT INSPECTOR FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
8. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON PROFILES ARE ASSUMED TO BE SHOWN IN APPROXIMATE LOCATION ONLY.
9. CONTRACTOR WILL PROVIDE BACKFLOW PREVENTORS AND/OR PRESSURE RELEASE VALVES AT EACH EXISTING BUILDING WHERE NEW SERVICE WILL BE PROVIDED.
- 10.

Sanitary Sewer Notes:

1. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND STRUCTURES ALONG THE PROPOSED ALIGNMENT. CONTRACTOR IS TO NOTIFY THE OWNER OR ENGINEER OF ANY CONFLICTS THAT MAY ARISE DUE TO UTILITY LOCATIONS.
2. ALL MANHOLES, FRAMES, AND COVERS PER DEKALB COUNTY STANDARDS PROVIDE BYPASS PUMPING OR OTHER PROVISIONS NECESSARY TO COMPLETE CONSTRUCTION. CONTRACTOR SHALL OBTAIN INTERVIEW, SEWAGE LEAKAGE, OR SPILLS TRENCHING IMMEDIATELY AFTER SOIL IS RETURNED TO THE TRENCH. TOOL FLEED DURING CONSTRUCTION IS PROHIBITED FROM LEAVING EXCAVATED AREAS OPEN OVERNIGHT.
3. CONTRACTOR IS PROHIBITED FROM LEAVING EXCAVATED AREAS OPEN OVERNIGHT. EXCAVATED AREAS SHALL EITHER BE BACKFILLED AND COMPACTED FLUSH TO GRADE, OR STEEL PLATES OF SUFFICIENT THICKNESS WILL BE INSTALLED WITH A RIM ELEVATION AT LEAST 18" ABOVE THE EXISTING GROUND UNLESS OTHERWISE NOTED ON PLANS.
4. ALL UNDERGROUND LINES SHALL BE CLEARLY MARKED WITH A CONTINUOUS RIBBON OR BURIED WARNING TAPE ABOVE THE SANITARY SEWER MAIN FACILITIES.
5. PROPOSED GRADE PROFILE IS REPRESENTATIVE OF THE GRADE OF SANITARY SEWER CENTERLINE.
6. ALL TEMPORARY TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL STATIONING SHOWN IS PIPELINE STATIONING.
8. ALL PIPELINE DISTANCES SHOWN ARE THE HORIZONTAL DISTANCE BETWEEN CENTER OF MANHOLES.
9. ALL PIPELINE SLOPES SHOWN ARE CALCULATED BASED ON CENTER OF MANHOLE DISTANCES.
10. GROUND ELEVATIONS SHOWN ON THE PLANS ARE APPROXIMATE.
11. CONTRACTOR MUST JET CLEAN AND T.V. SANITARY SEWER AFTER ALL CONNECTIONS IS MADE TO THE EXISTING SEWER TIE-IN LOCATIONS. TRACER WIRE IS TO BE INSTALLED FOR ALL PVC PIPES.
- 12.
- 13.
- 14.



NO.	DATE	REVISION
1		

WILLIAM MCKINLEY PETER PARK
1832 Clark Dr.
Tucker, Georgia

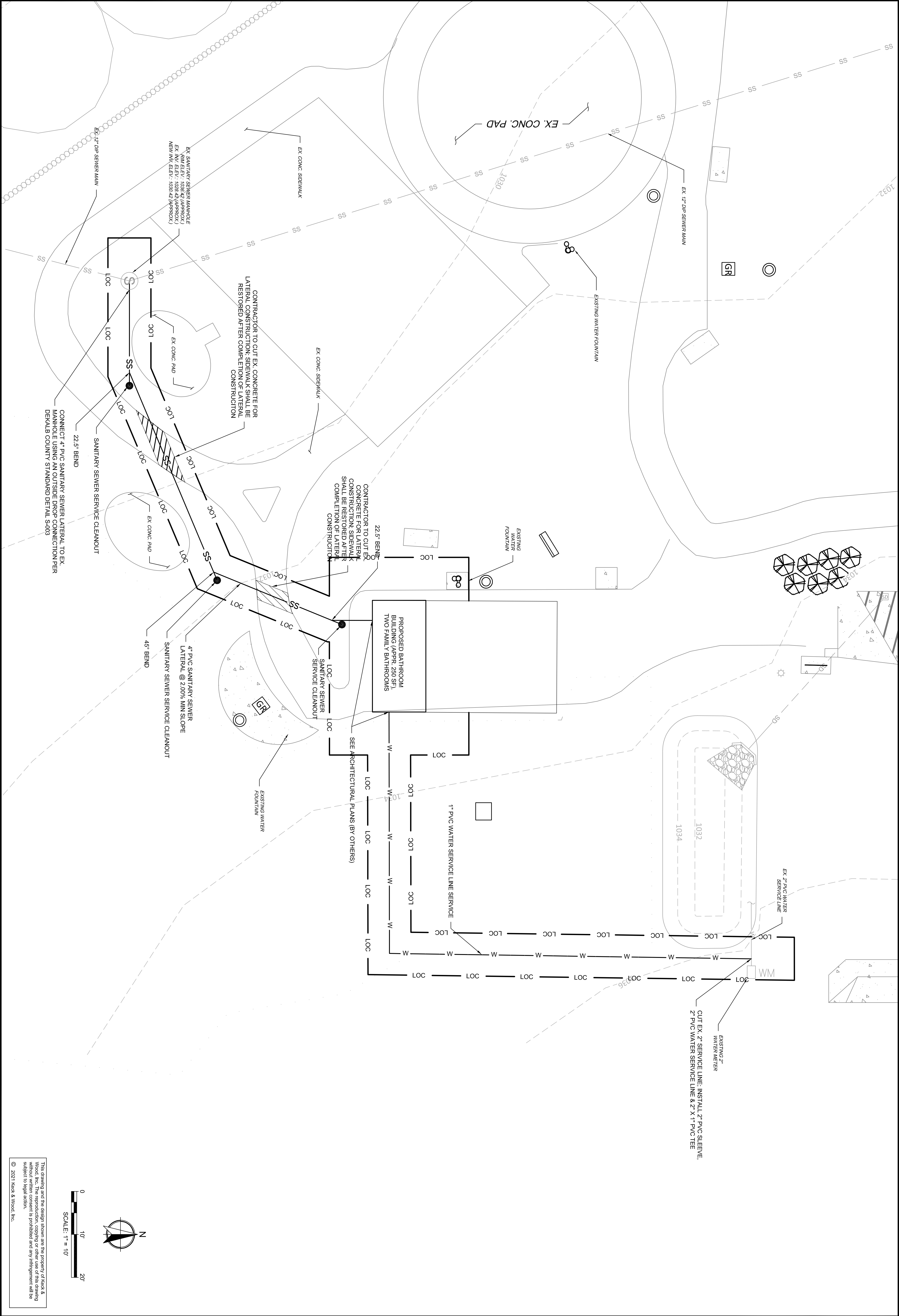
GENERAL NOTES

THIS BAR IS 1" LONG
PLOTTED FULL SCALE

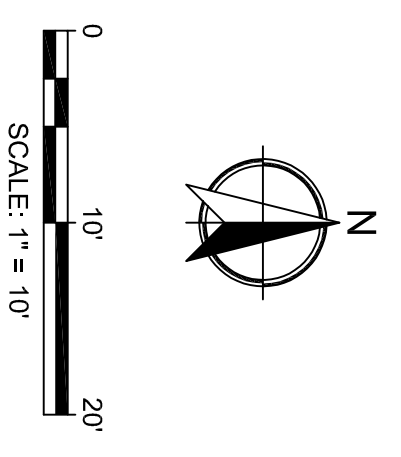
Project Manager	ADAM SHELTON
Drawn By:	Checked By:
MW	AS
Date:	08/16/2024
Scale:	As Shown

Project No.: **230154**
Drawing No.: **C0.1**

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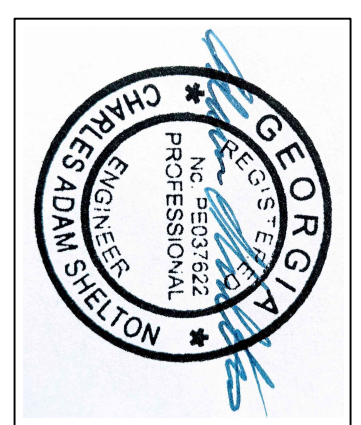


Project No.: 230154	Project Manager: ADAM SHELTON
Drawn By: MW	Checked By: AS
Date: 08/16/2024	Scale: As Shown
Drawing No.: C1.0	

WILLIAM MCKINLEY PETER PARK
1832 Clark Dr.
Tucker, Georgia

UTILITY PLAN

NO.	DATE	REVISION



Keck+Wood
COLLABORATION BY DESIGN

3090 Premiere Parkway, Suite 200
Duluth, GA 30097
(678) 417-4000
keckwood.com

Request for Taxpayer Identification Number and Certification

**Give Form to the
requester. Do not
send to the IRS.**

▶ Go to www.irs.gov/FormW9 for instructions and the latest information.

Print or type. See Specific Instructions on page 3.	1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.			
	2 Business name/disregarded entity name, if different from above			
	3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.		4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3): Exempt payee code (if any) _____ Exemption from FATCA reporting code (if any) _____ <small>(Applies to accounts maintained outside the U.S.)</small>	
	<input type="checkbox"/> Individual/sole proprietor or single-member LLC	<input type="checkbox"/> C Corporation		<input type="checkbox"/> S Corporation
	<input type="checkbox"/> Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ _____	<input type="checkbox"/> Partnership		
	<input type="checkbox"/> Trust/estate			
	<input type="checkbox"/> Other (see instructions) ▶ _____			
5 Address (number, street, and apt. or suite no.) See instructions.		Requester's name and address (optional)		
6 City, state, and ZIP code				
7 List account number(s) here (optional)				

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Social security number									
				-			-		

or

Employer identification number										
				-						

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Part II Certification

- Under penalties of perjury, I certify that:
- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
 - I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
 - I am a U.S. citizen or other U.S. person (defined below); and
 - The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here	Signature of U.S. person ▶	Date ▶
------------------	----------------------------	--------

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.



PROPOSED SUBCONTRACTOR FORM: ITB 2024-016

BIDDERS MUST RETURN THIS FORM WHICH WILL BE ADDED TO SUBMITTED PROPOSAL
Please complete this form and return as part of your bid package when it is submitted.

Name of Bidder _____

1. Subcontractor Name: _____

% of Bid Amount: _____

Description of Work provided: _____

2. Subcontractor Name: _____

% of Bid Amount: _____

Description of Work provided: _____

3. Subcontractor Name: _____

% of Bid Amount: _____

Description of Work provided: _____

4. Subcontractor Name: _____

% of Bid Amount: _____

Description of Work provided: _____

Please complete and submit in bid package. Duplicate if needed.



GEORGIA SECURITY AND IMMIGRATION COMPLIANCE ACT AFFIDAVIT

GEORGIA E-Verify and Public Contracts: The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees.

Contractor Name:	
Solicitation/Bid number or Project Description:	

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, entity or corporation which is engaged in the physical performance of services under a contract on behalf of the City of Tucker, Georgia has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91.

Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period as required by O.C.G.A. § 13-10-91(b) and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present and affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number
(EEV/E-Verify Company Identification Number)

Date of Authorization

Name of Contractor

I hereby declare under penalty of perjury that the foregoing is true and correct

Printed Name (of Authorized Officer or Agent of Contractor)

Title (of Authorized Officer or Agent of Contractor)

Signature (of Authorized Officer or Agent)

Date Signed

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE

____ DAY OF _____, 20____

Notary Public

[NOTARY SEAL]

My Commission Expires: _____



GEORGIA SECURITY AND IMMIGRATION COMPLIANCE ACT AFFIDAVIT

GEORGIA E-Verify and Public Contracts: The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees.

Contractor Name:	
Subcontractor's (Your) Name	
Solicitation/Bid number or Project Description:	

By executing this affidavit, the undersigned subcontractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, entity or corporation which is engaged in the physical performance of services under a contract on behalf of the City of Tucker, Georgia has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91.

Furthermore, the undersigned subcontractor will continue to use the federal work authorization program throughout the contract period as required by O.C.G.A. § 13-10-91(b) and the undersigned subcontractor will contract for the physical performance of services in satisfaction of such contract only with sub-subcontractors who present and affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Subcontractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

Federal Work Authorization User Identification Number
(EEV/E-Verify Company Identification Number)

Date of Authorization

Name of Subcontractor

I hereby declare under penalty of perjury that the foregoing is true and correct

Printed Name (of Authorized Officer or Agent of Contractor)

Title (of Authorized Officer or Agent of Contractor)

Signature (of Authorized Officer or Agent)

Date Signed

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE

____ DAY OF _____, 20____

Notary Public

[NOTARY SEAL]

My Commission Expires: _____

BID BOND

KNOW ALL MEN BY THESE PRESENTS, THAT

(Name of Contractor) _____ at

(Address of Contractor) _____

(Corporation, Partnership and / or Individual) hereinafter called Principal, and

(Name of Surety) _____

(Address of Surety) _____

A corporation of the State of _____, and a surety authorized by law to do business in the State of Georgia, hereinafter called Surety, are held, and firmly bound unto

(Name of Oblige) City of Tucker Georgia

(Address of Oblige) 1975 Lakeside Parkway, Suite 350, Tucker, Georgia 30084

Hereinafter referred to as Oblige, in the penal sum of _____ Dollars (\$ _____) in lawful money of the United States, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators and successors, jointly and severally, firmly by these presents.

WHEREAS, the Principal is about to submit, or has submitted, to the City of Tucker, Georgia, a proposal for furnishing materials, labor, and equipment for:

**ITB # 2024-016
PETERS PARK RESTROOM CONSTRUCTION**

WHEREAS, the Principal desires to file this Bond in accordance with law in lieu of a certified Bidder's check otherwise required to accompany this Proposal.

NOW, THEREFORE, the conditions of this obligation are such that if the bid is accepted, the Principal shall within ten days after receipt of notification of the acceptance execute a Contract in accordance with the Bid and upon the terms, conditions, and prices set forth in the form and manner required by the City of Tucker, Georgia, and execute a sufficient and satisfactory Performance Bond and Payment Bond payable to the City of Tucker, Georgia, each in an amount of 100% of the total Contract Price, in form and with security satisfactory to said the City of Tucker, Georgia, and otherwise, to be and remain in full force and virtue in law; and the Surety shall, upon failure of the Principal to comply with any or all of the foregoing requirements within the time specified above, immediately pay to the City of Tucker, Georgia,

upon demand, the amount hereof in good and lawful money of the United States of America, not as a penalty, but as liquidated damages.

PROVIDED, FURTHER, that Principal and Surety agree and represent that this bond is executed pursuant, to and in accordance with the applicable provisions of the Official Code of Georgia Annotated, as Amended, including, but not limited to, O.C.G.A. § 13-10-20, et. Seg. And § 36- 91-50, et. Seg. and is intended to be and shall be constructed as a bond in compliance with the requirements thereof.

Signed, sealed, and dated this _____ day of _____ A.D., 20 ____ .

ATTEST:

(Principal Secretary)

(Principal)

(SEAL)

BY: _____

(Witness to Principal)

(Address)

(Address)

(Surety)

ATTEST:

BY: _____
(Attorney-in-Fact) and Resident Agent

(Attorney-in-Fact)

(SEAL)

(Address)

(Witness as to Surety)

Contact Information Form

Please fill out this form with the appropriate contact information for your company.

Full Legal Name of Company: _____

Date: _____

Contractor Information:

Primary Contact Person: _____

Title: _____ Telephone Number: _____

E-mail Address: _____

Secondary Contact Person: _____

Title: _____ Telephone Number: _____

E-mail Address: _____

Preferred Contact for Administration: (i.e. Document Processing) (Choose one)

Primary Contact

Secondary Contact

Address: _____

City / State / Zip: _____

Mailing Address (If different than above): _____

City / State / Zip: _____

Federal Employee ID Number (FEIN): _____



REFERENCES FORM: ITB 2024-016

BIDDERS MUST RETURN THIS FORM WHICH WILL BE ADDED TO SUBMITTED PROPOSAL

Please complete this form and return as part of your bid package when it is submitted.

Name of Bidder _____

REFERENCE #1

Contact Name: _____

Contact Number: _____

Brief Description of work provided: _____

REFERENCE #2

Contact Name: _____

Contact Number: _____

Brief Description of work provided: _____

REFERENCE #3

Contact Name: _____

Contact Number: _____

Brief Description of work provided: _____

Please complete and submit in bid package



OATH OF NON-COLLUSION

COMES NOW, _____ (“Contractor”),
[*name of Contractor*]

appearing by and through _____,
[*name of individual with authority to bind Contractor*]

its _____ (“Individual And Representative Affiant”), and
[*title*]

[*insert the names of all those required to give the oath*]

(collectively, “Individual Affiants”), and each of the Individual And Representative Affiant and Individual Affiants, after first being duly sworn, deposes and says that:

1. Contractor has not directly or indirectly violated subsection (d) of the Official Code of Georgia Annotated Section 36-91-21, which provides as follows:

Whenever a public works construction contract for any governmental entity subject to the requirements of this chapter is to be let out by competitive sealed bid or proposal, no person, by himself or herself or otherwise, shall prevent or attempt to prevent competition in such bidding or proposals by any means whatever. No person who desires to procure such work for himself or herself or for another shall prevent or endeavor to prevent anyone from making a bid or proposal therefor by any means whatever, nor shall such person so desiring the work cause or induce another to withdraw a bid or proposal for the work.

Code Section 36-91-21(d) also applies to municipal street system contracts pursuant to Official Code of Georgia Annotated Section 32-4-122.

2. Individual And Representative Affiant is the officer of Contractor whose duty it is to make the payment.

3. If Contractor is a partnership, then Individual and Representative Affiant and Individual Affiants together constitute all of the partners and any officer, agent or other person who may have represented or acted for Contractor in bidding for or procuring the contract.

4. If Contractor is a corporation, then Individual and Representative Affiant and Individual Affiants together constitute all officers, agents, or other persons who may have acted for or represented Contractor in bidding for or procuring the contract.

Further affiants sayeth not.

This ____ day of _____, 20__.

By: _____, individually and on behalf of Contractor
[signature of Individual And Representative Affiant]

Name: _____

Title: _____

Individual Affiants' signatures and names:

Name:

Name:

Name:

Name:

Name:

Name:

Subscribed and Sworn before me on this
____ day of _____, 20__.

NOTARY PUBLIC
My Commission Expires:
