

# CITY OF TUCKER

## ACKNOWLEDGE RECEIPT OF ADDENDUM #1 FORM

ITB 2024-017

### TUCKER PICKLEBALL AND PARKING LOT CONSTRUCTION

**Upon receipt, please print and add to your proposal.**

**I hereby acknowledge receipt of the supplement pertaining to the  
above referenced bid.**

COMPANY NAME: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

\_\_\_\_\_

SIGNATURE

DATE

# ITB 2024-017

## ADDENDUM #1

1. This addendum is being issued to all Bidders to provide clarification and/or modifications to the Tucker Pickleball Courts Construction bid documents.
2. The information included in this addendum is made part of the ITB noted above and part of any contract that may be awarded for this ITB.
3. The purpose of this addendum is to provide response to posed questions and provide clarification or revisions to the Bid Documents.
4. If there is a conflict between any previously supplied information and the information contained in this addendum, the information in this addendum shall govern.
5. Bidders must acknowledge receipt of this addendum with your bid submission. Failure to acknowledge receipt of the addendum does not release the bidder from the requirements set forth below but may be grounds for rejection of the bid.
6. The Bid Documents are hereby modified in the following respects:

	<b>QUESTION</b>	<b>ANSWER</b>
1	Does the court surfacing system only need one coat of acrylic resurfacer, typically two coats are installed?	The courts shall receive <u>two</u> coats of acrylic resurfacer as a base course. The 'Pickleball Surfacing Notes', sheet C-502, has been revised. Refer to Drawing Revision Enlargement C-502 attached.
2	Is the concrete paving and walkways around the pavilion included in the base bid? Are the utilities to the restroom building included in the base bid?	The concrete paving and walkways around the pavilion are not included in the base bid and are bid alternate #1. The utilities should be stubbed up adjacent to the restroom building as part of the base bid. As part of bid alternate #1, the utilities should be connected to the restroom building. Refer to page 35 of 35 of the project manual for more information. Sheet C-400 has been revised to correctly reflect this information, Refer to Drawing Revisions, Sheet C-400 attached.
3	Is a General Contractor's license required for this project?	Yes, bidders must hold a General Contractor's License in the State of Georgia. (See Exhibit A, Section 1.3 of Project Manual)
4	Is the timeline for substantial completion 548 days or 304 days?	Refer to Addendum Item: Bid Document Revisions Item 1 for response.

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ADDENDUM #1

5	For the chain link fence at the courts, the details call out 9-gauge chain link mesh. Is this the core dimension or the outside dimension?	The 9-gauge dimension should be the core gauge, not including the vinyl coating.
6	Is there any geo-tech data available for the project?	A geo-technical analysis was not performed as part of this project.
7	Has the grading been calculated from this project to know if there is import or export?	No, grading calculations are not available. Review the grading plans and note there is a mounded area which may assist in balancing soils from any cut earthwork on site. Root Design Studio can provide the AutoCAD file to bidders, if requested, to assist contractors with calculating cut and fill.
8	Is there a weight specified for the court fencing posts?	No, there is not a specified weight for the fence posts.
9	Will there be an allowance or unit item for potential rock removal on the site?	Refer to Unit Items in the Bid Proposal and Specifications.
10	Size ADA signs for restrooms signs, (Standard?) (page 66 of set of drawings)	Materials, font, braille and positioning for restroom ADA Signs should be compliant with current Federal and State ADA guidelines.
11	Sign type B (Fire Lane) on drawing C-100, C-101, is not shown on drawing C-504 as the others (A, C, D), and Detail 6 states: <b>FIRE LANE NOTES 1. REMOVE AND RESET EXISTING FIRE LANE SIGNS,</b>  does this mean all Bs are now going to be Ds?	All signs indicated as 'B' are the same as sign 'D'. Reuse/reset existing signs as feasible. If existing signs are damaged, replace with new sign as indicated on Sheet C-504, Detail 6.
12	No monument sign for entrance of park?	No, none included in contract.
13	The Jack & Bore as shown on Plan Sheet CU100, of the 18" Steel Casing, appears it could potentially interfere with the Tucker Recreation	Alternatives will be considered, but the priority is to save the existing oak tree(s) in this area within their critical root zones, so the alternatives need to take that into account.

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	Center building foundation corner. For both a cost savings to Tucker City and to avoid a potential costly foundation interference, would there be an option to not Jack & Bore the 8” DI SS line and provide an open cut installation and repair the sidewalk and ground above? If there was a need to protect the same 8” DI SS line with another manor, would that be allowed?	
14	Since there are not geotechnical borings in the Storm Water ADS System Install Area, if rock is encountered would mat covered blasting be allowed and at what time during the work day. More generally from a potential cost impact, what is allowed for the removal of rock and is rock blasting allowed in any area?	Unit item prices have been requested for pricing 5 CY of rock excavation/ removal on site, if additional rock to be removed is encountered, this will be measured paid for at the assigned unit rate. Rock blasting will not be permitted on the site.
15	On Plan Sheet CD100, the northern side of the Roundabout Curb & Gutter is not called out. Is this to be removed and replaced?	Yes, the northern side of the curb at the described location is to be removed and replaced.
16	On Drainage Plans CG103 shows 30” HDPE & CG300 shows 30” RCP Pipe from MH3 to MH5. Which is the correct Pipe to Install?	The pipe between MH3 to MH5 shall be 30” RCP. Refer to Drawing Revisions, Enlargement Sheet CG103 attached.
17	Sheet E-100 has 4- Parking lot fixtures indicated. The designation is either A1 or LA. I have found no Fixture schedule indicating what fixtures and poles are required.	“A1” fixture is specified on Fixture Schedule on sheet E-000 Notes and Legends (electrical) The ‘ <u>LA</u> ’ shown beside the Type “A1” fixtures on the plans is errant text and may be ignored.
18	Sheet E100 Poles P1-P2 -P-3 and P-6 Indicate that these poles have a Type AS fixture mounted on them for security. There is no fixture schedule for an AS fixture.	“AS” fixture is specified on Fixture Schedule on sheet E-000 Notes and Legends (electrical).
19	Page 4 says to submit “Certificate of Current Insurance”, and page 12 says the successful contractor will need “...not less than \$3,000,000 in combined single limits...”. It is	As part of the bid submittal, we require a certificate of your current insurance. Standard notation is “For Information” or “For Bidding Purposes Only”.

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	assumed and understood that the need to have a \$3,000,000 policy in place is on the Notice of Award date. Please confirm.	Once the Intent to Award is issued upon determining the lowest responsible and reliable bidder, we will request a COI naming the City of Tucker as a policy holder with the required limits.
20	Specifications sheet 011100-1: a. Is the Landscape Architect of Record (Root Design) the only design professional associated with this project? b. Please confirm Freedman Engineering Group and VHB are both engineers of record for their respective scopes, even though they are not listed in the specification section, but have stamped drawings in the drawing package.	Freedman Engineering Group and VHB are subconsultants to Root Design Studio and as such are considered design professionals associated with this project.
21	Specification sheet 265668-6: a. Section 2.04.D requires foundation drawings for sports lighting to be submitted at time of bid. Is this actually required at time of bid? This will require bidders to commit dollars for design costs, prior to be awarding the project.	Outdoor Athletic Lighting Supplier shall supply stamped structural drawings for foundations of sports lighting to be received at time of bid. Consult with Supplier for more information.
22	There are no electrical, plumbing, and mechanical plans for the building. Will that be provided?	Per Technical Specs section 13 3423, Pre-Engineered Restroom Building, Section, 1.3, notes A &G, the building supplier will provide stamped engineered drawings for the architectural, mechanical, structural and electrical components of the building. These plans will be provided after the project is awarded and the Scope of Supply and Design Submittal is approved by the City. Contractors shall price these items based on the schematic plans and by referring to the specification Section 13 3423, model numbers of any fixtures included that you will need product info on.

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## ADDENDUM #1

### **Clarifications:**

1. CAD Drawings of the grading plans are available by emailing [agreco@rootdstudio.com](mailto:agreco@rootdstudio.com). A release waiver will need to be signed before CAD drawings will be issued.

### **Bid Document Revisions**

1. The timeline for substantial completion of the base bid is 304 days of the Notice to Proceed, as shown in the Bid Activity Schedule and page 12 of 35 of the project manual. Exhibit A, Section 1.02 B. 1. a. (page 11 of 35) should be updated to say 304 days for the Base Bid.

The timeline for substantial completion for the base bid + Additive Alternative 1 will be 395 days.

2. There is a second 11' chain link fence backstop to be removed that is missing a label on sheet CD101, shown in the northwest corner of the plan. Bidders should include the removal of this second backstop as part of their proposal. Refer to Drawing Revisions Enlargement Sheet CD101.

### **Drawing Revisions:**

#### **Refer to Attachment A: 8x11 Enlargements as per below description:**

1. Enlargement Sheet C-101: This sheet was revised to correctly reflect the base bid and alternate #1 bid work related to the pavilion and restroom building.
2. Enlargement Sheet CG-103: This sheet was revised to correctly label the pipe between manholes #3 and #5 as a 30" RCP.
3. Enlargement: Sheet C-502: The 'Pickleball Surfacing Notes' were revised to show two coats of acrylic resurfacer being required.
4. Enlargement: Sheet CD101: The second backstop to be removed has been labeled.
5. Enlargement: Sheet CU101: This sheet was revised to correctly reflect the base bid and alternate #1 bid work related to the pavilion and restroom building AND changed 1" Water line to building to a 1.5" water line.
6. Enlargement: Sheet LT500: This sheet was revised to correctly reflect the base bid and alternate #1 bid work related to the pavilion and restroom building.

#### **Refer to Attachment B: Full size plan per below description:**

1. Sheet C-400: This sheet was revised to correctly reflect the base bid and alternate #1 bid work related to the pavilion and restroom building. Full size Sheet Attached.

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ADDENDUM #1

**Substitution Approvals**

1. The HS180 system by Prinsco are an approved product and manufacturer for the underground detention chamber system. All of the requirements on the drawings must be met.
2. Per substitution request by ICP Building Solutions Group of Andover, MA, the Plexipave color coating surfacing system will be an allowable substitute for the Acrytech Sports Surfacing products surfacing and color applications on Sheet C-502 of the Construction Plans as part of the Bid Set. See attached review form (Attachment C) for more information.
3. There is a request currently in review for lighting substitution. Addendum #2 will be issued to address this request.





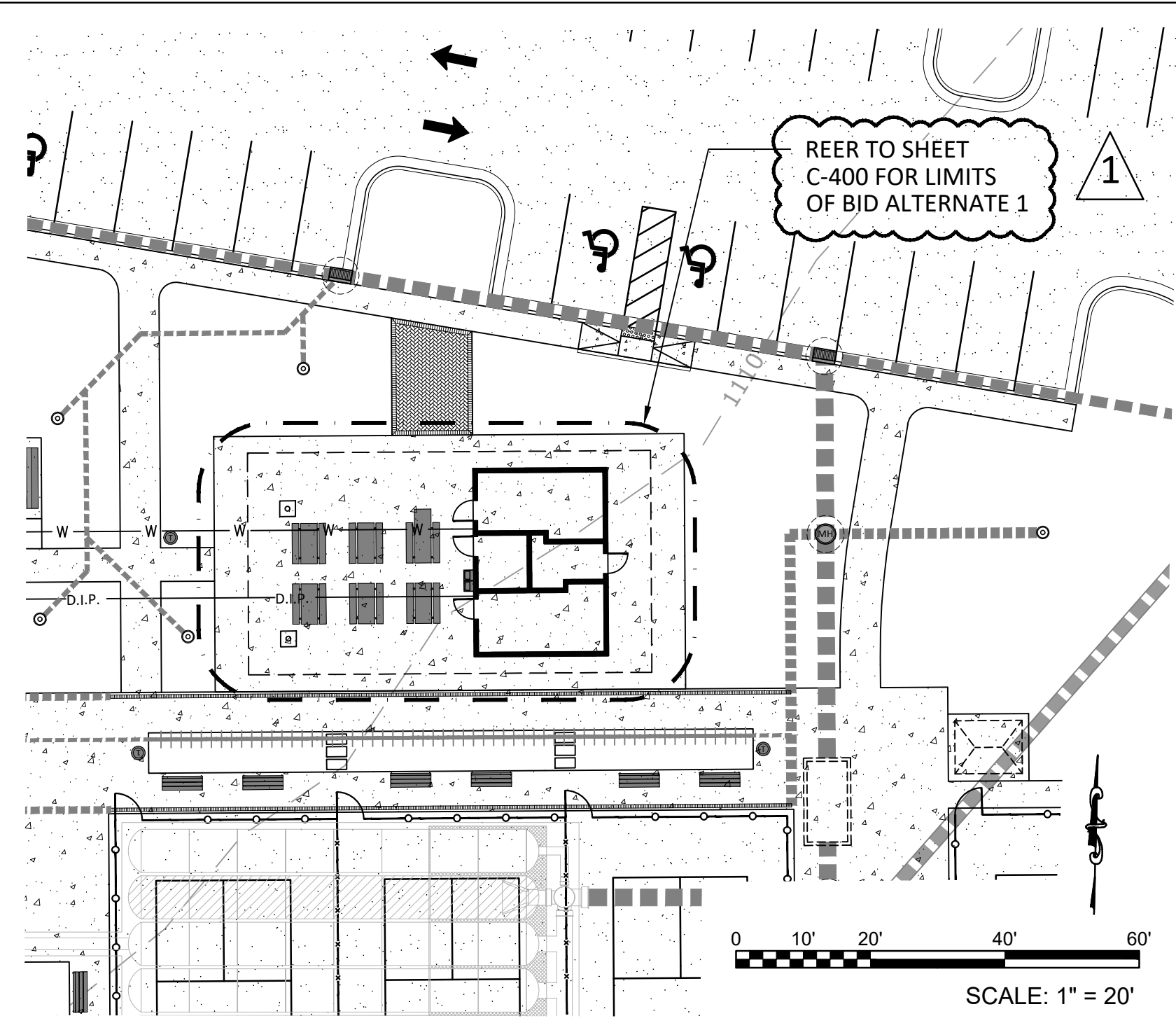
Date: 09/27/2024

Project No: 2023-019

Drawn By: PS

Checked By: AG

REER TO SHEET C-400 FOR LIMITS OF BID ALTERNATE 1



**TUCKER PICKLEBALL COURTS**  
4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
4898 Lavista Road  
Tucker, GA 30084

Sheet Title:  
Site Plan: Area B  
Addendum #1

Sheet No:  
**C-101**  
Enlargement

SCALE: 1" = 20'





Date: 09/27/2024  
Project No: 2023-019  
Drawn By: PS  
Checked By: AG

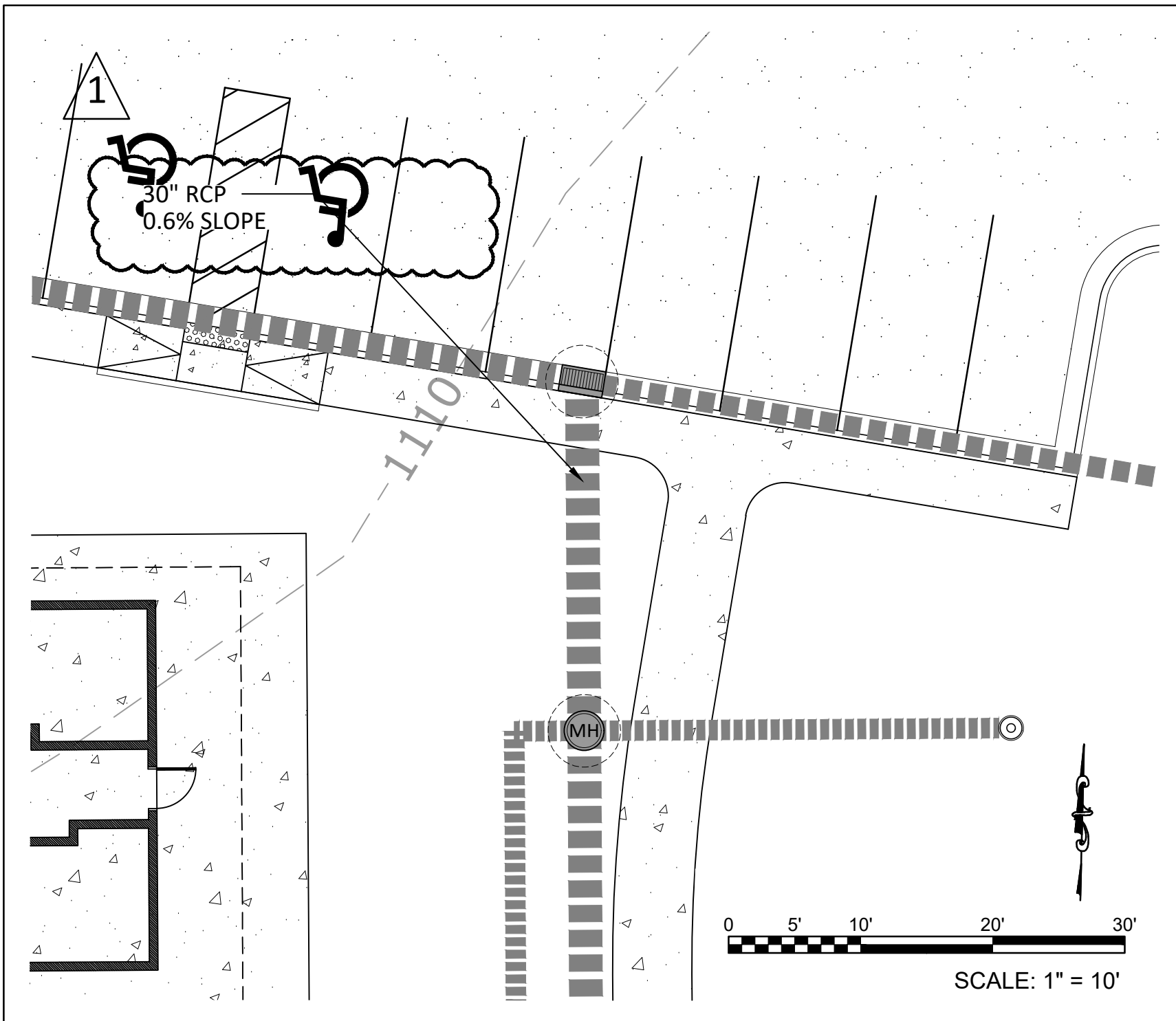
# TUCKER PICKLEBALL COURTS

4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
4898 Lavista Road  
Tucker, GA 30084

Sheet Title:  
Grading & Drainage Plan:  
Area B  
Addendum #1

Sheet No:  
**CG103**  
Enlargement





Date: 09/27/2024  
 Project No: 2023-019  
 Drawn By: PS  
 Checked By: AG

PICKLEBALL SURFACING NOTES:

PICKLEBALL COURTS SHALL BE SURFACED AND STRIPED TO MEET THE FOLLOWING SPECIFICATIONS:

1. SURFACING:

1.1. CONTRACTOR SHALL SURFACE ALL PICKLEBALL COURTS WITH TWO COATS OF ACRYLIC RESURFACER BASE COURSE (BELOW) WITH TWO COATS OF COLOR SURFACING TOP COURSE (ABOVE).

1.1.1. ACRYLIC RESURFACER SHALL BE BLACK ACRYLIC RESURFACING PRODUCT BY ACRYTECH, OR APPROVED EQUAL.

1.1.2. TWO COATS OF COLOR SURFACING SHALL BE COLORFLEX PRODUCT BY ACRYTECH, OR APPROVED EQUAL.

1.1.2.1. OUT-OF-BOUNDS COURT COLOR (COLOR A) SHALL BE SANDSTONE.

1.1.2.2. SERVICE AREA COLOR (COLOR B) SHALL BE COMPETITION BLUE.

1.1.2.3. NON-VOLLEY ZONE COURT COLOR (COLOR C) SHALL BE LIGHT BLUE.

1.1.2.4. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL COURT SURFACE COLORS TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

1.2. INSTALL ALL COURT SURFACING PRODUCTS PER MANUFACTURER RECOMMENDATIONS. MANUFACTURER INFO:

ACRYTECH SPORTS SURACING  
 2660 EASTERLY PLACE, DECATUR, GA 30035  
 770-734-3000  
 www.atsports.com

2. STRIPING:

2.1. CONTRACTOR SHALL STRIPE COURTS AS SHOWN ON PLAN.

2.1.1. PICKLEBALL COURT STRIPES SHALL BE WHITE IN COLOR, TWO INCHES WIDE.



**TUCKER PICKLEBALL COURTS**  
 4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
 4898 Lavista Road  
 Tucker, GA 30084

Sheet Title:  
 Construction Details  
 Addendum #1

Sheet No:  
**C-502**  
 Enlargement



Date: 09/27/2024  
Project No: 2023-019  
Drawn By: PS  
Checked By: AG

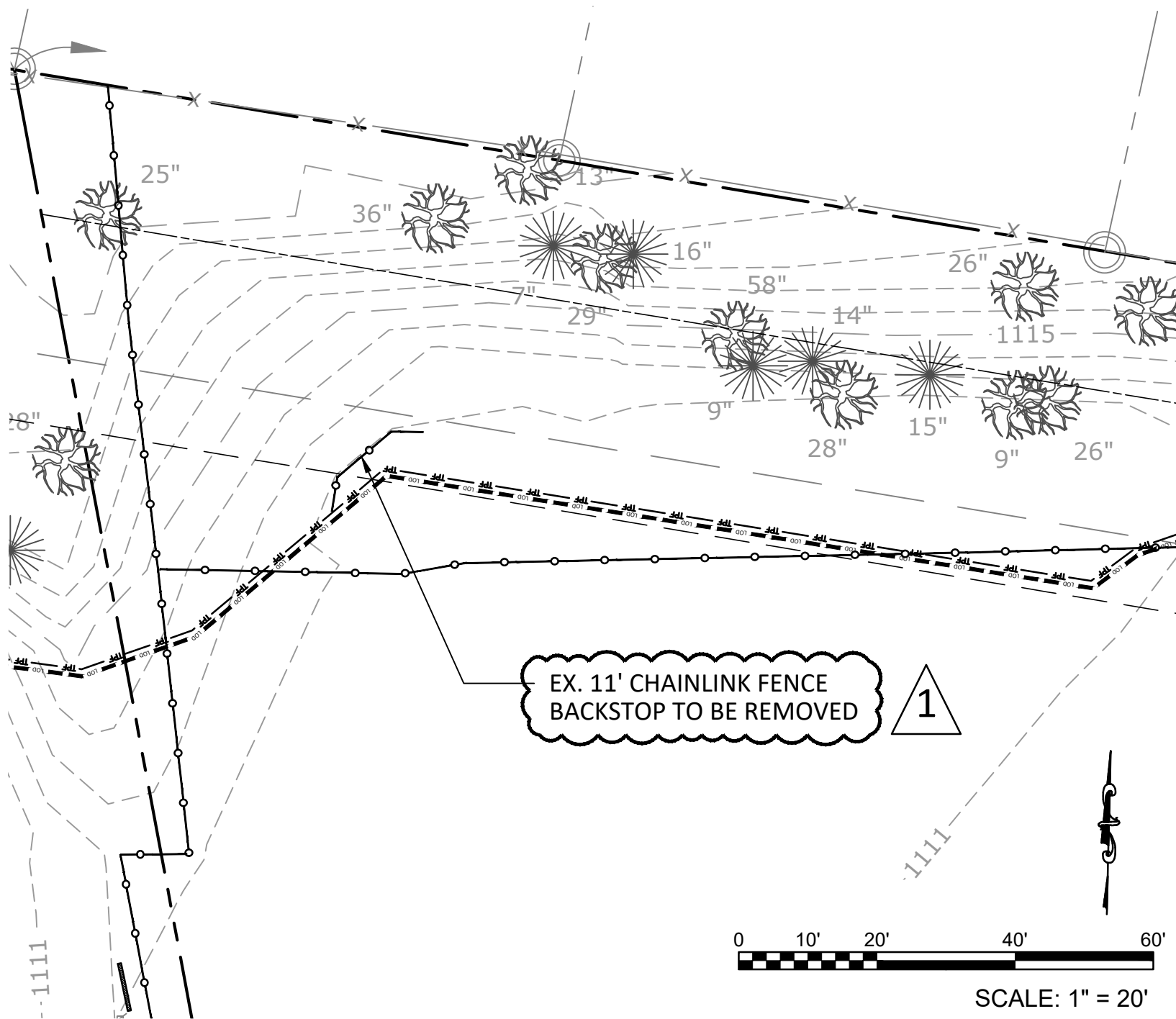
# TUCKER PICKLEBALL COURTS

4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
4898 Lavista Road  
Tucker, GA 30084

Sheet Title:  
Demolition Plan:  
Area B  
Addendum #1

Sheet No:  
**CD101**  
Enlargement



EX. 11' CHAINLINK FENCE  
BACKSTOP TO BE REMOVED



SCALE: 1" = 20'

Date: 09/27/2024

Project No: 2023-019

Drawn By: PS

Checked By: AG

# TUCKER PICKLEBALL COURTS

4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
4898 Lavista Road  
Tucker, GA 30084

Sheet Title:

Utility Plan: Area B  
Addendum #1

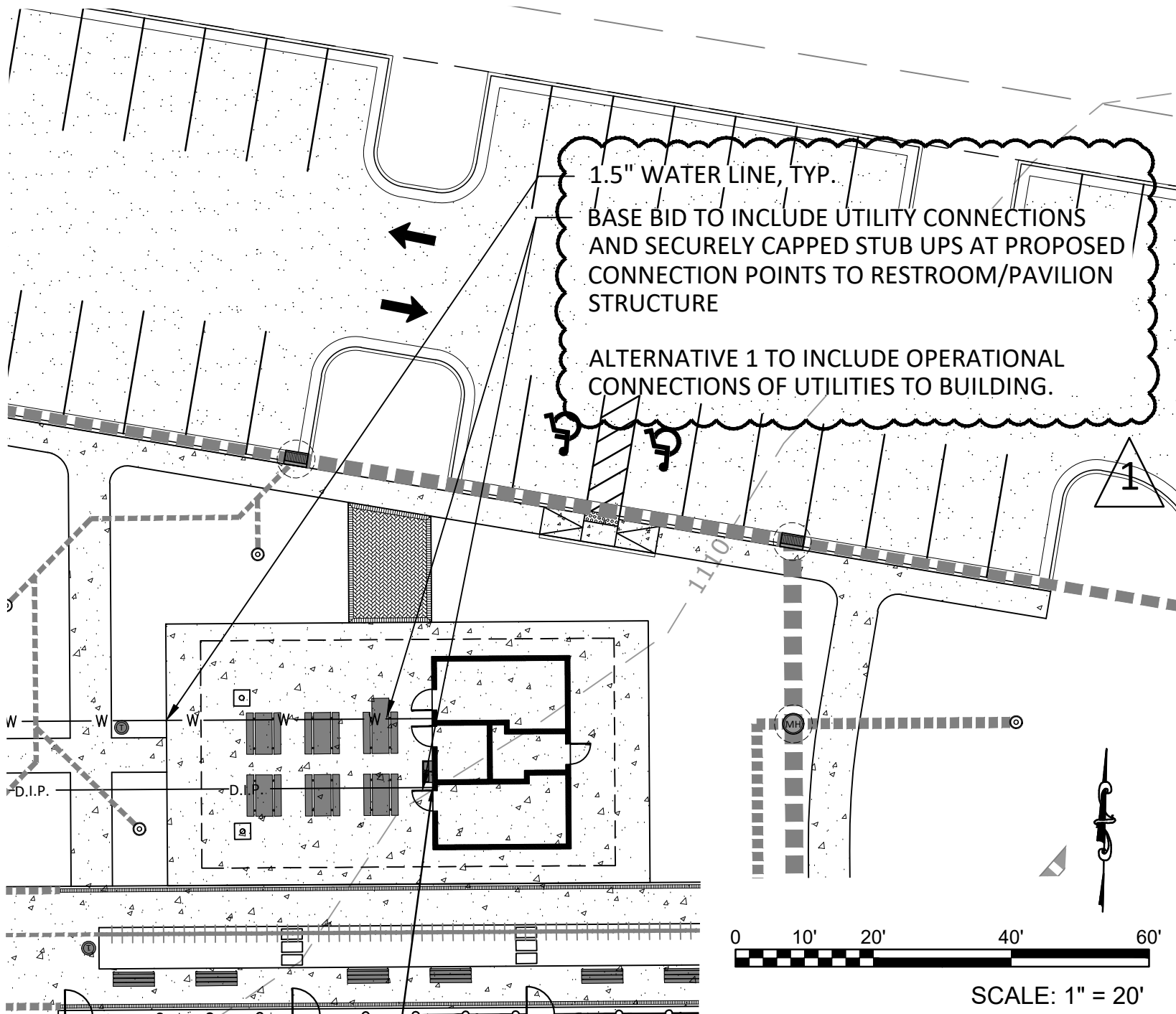
Sheet No:

**CU101**  
Enlargement

1.5" WATER LINE, TYP.

BASE BID TO INCLUDE UTILITY CONNECTIONS  
AND SECURELY CAPPED STUB UPS AT PROPOSED  
CONNECTION POINTS TO RESTROOM/PAVILION  
STRUCTURE

ALTERNATIVE 1 TO INCLUDE OPERATIONAL  
CONNECTIONS OF UTILITIES TO BUILDING.



SCALE: 1" = 20'

Date: 09/27/2024  
 Project No: 2023-019  
 Drawn By: PS  
 Checked By: AG

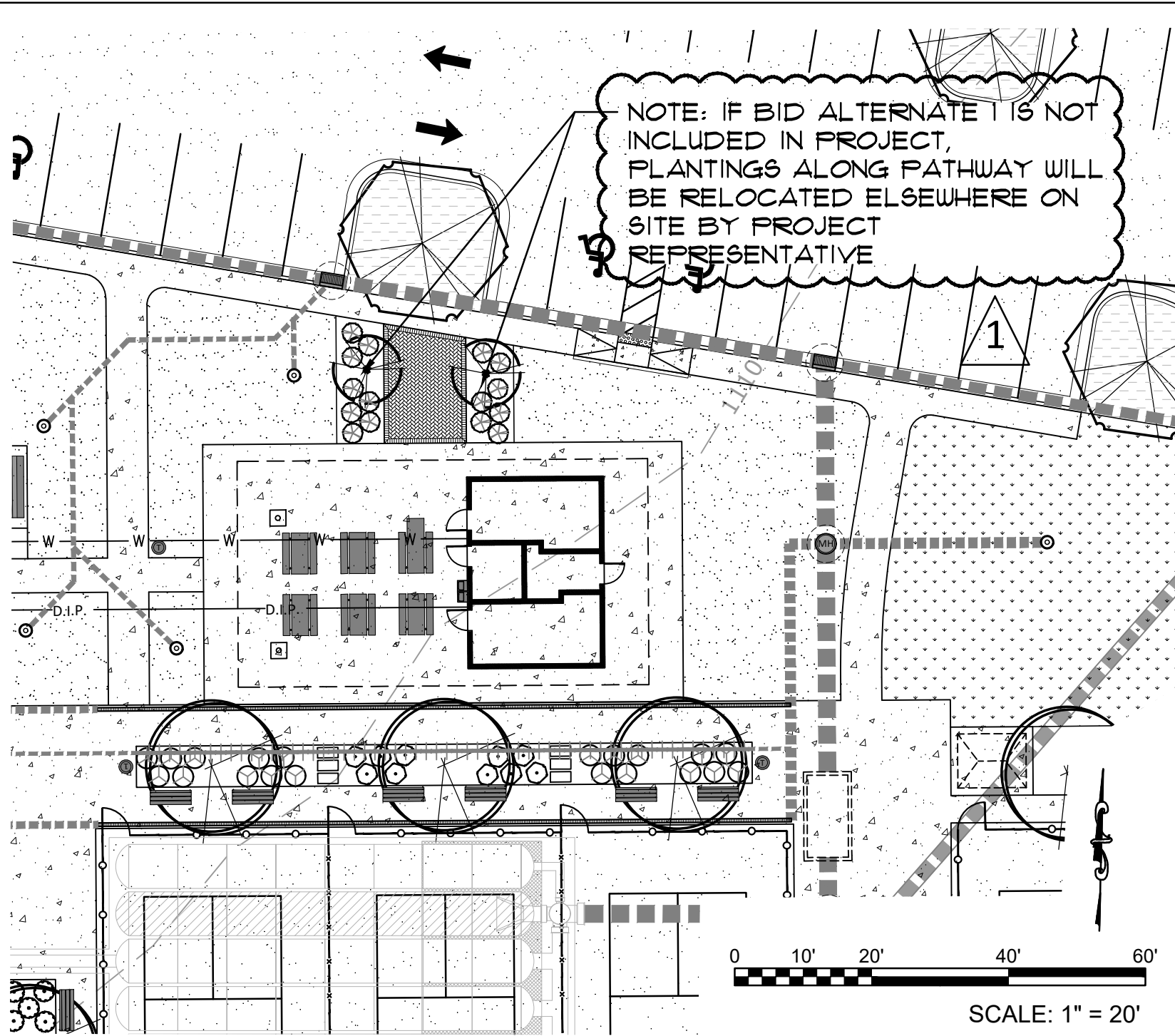
# TUCKER PICKLEBALL COURTS

4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
 4898 Lavista Road  
 Tucker, GA 30084

Sheet Title:  
 Tree Plan: Courts  
 Enlargement Planting  
 Plan Addendum #1

Sheet No:  
**LT400**  
 Enlargement



NOTE: IF BID ALTERNATE 1 IS NOT INCLUDED IN PROJECT, PLANTINGS ALONG PATHWAY WILL BE RELOCATED ELSEWHERE ON SITE BY PROJECT REPRESENTATIVE



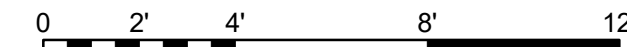
SCALE: 1" = 20'

**BID ALTERNATE NOTES:**

1. BASE BID SHALL NOT INCLUDE PAVILION, BUT SHALL AND STUBBED UP WATER AND SANITARY LINE.
2. CONTRACTOR SHALL ADJUST TOTAL BASE BID BY INCLUDING THE FOLLOWING:
3. BID ALTERNATE #1: INCLUDES
  - 3.1. CONSTRUCTION OF 70'X38' CONCRETE PAVING SLAB BELOW
  - 3.2. CONSTRUCTION OF PAVER WALKWAY TO PAVILION AND SIDEWALK ENTRANCE AS SHOWN.
  - 3.3. CONSTRUCTION OF PREFABRICATED PAVILION/RESTROOM AS SHOWN.
    - 3.3.1. REFER TO PROJECT MANUAL FOR MORE INFORMATION.



Know what's below.  
Call before you dig.



SCALE: 1/4" = 1'-0"

**FREEDMAN ENGINEERING GROUP**

David Freedman, PE, LEED AP-BD&C  
1000 Whitlock Avenue  
Suite 320, #218  
Marietta, GA 30064  
(770) 851-3175  
Davidf@freedmanengineering.com



2300 Henderson Mill Road  
Suite 412  
Atlanta, Georgia 30345  
(404) 895-2253  
www.RootDesignStudio.com

Seal:

Date:

Project No: 2023-019

Drawn By: PS

Checked By: MK

**Tucker Pickleball Courts**  
4898 Lavista Rd, Tucker, GA 30084

City of Tucker, Parks & Recreation Department  
4898 Lavista Road  
Tucker, GA 30084

Revisions:

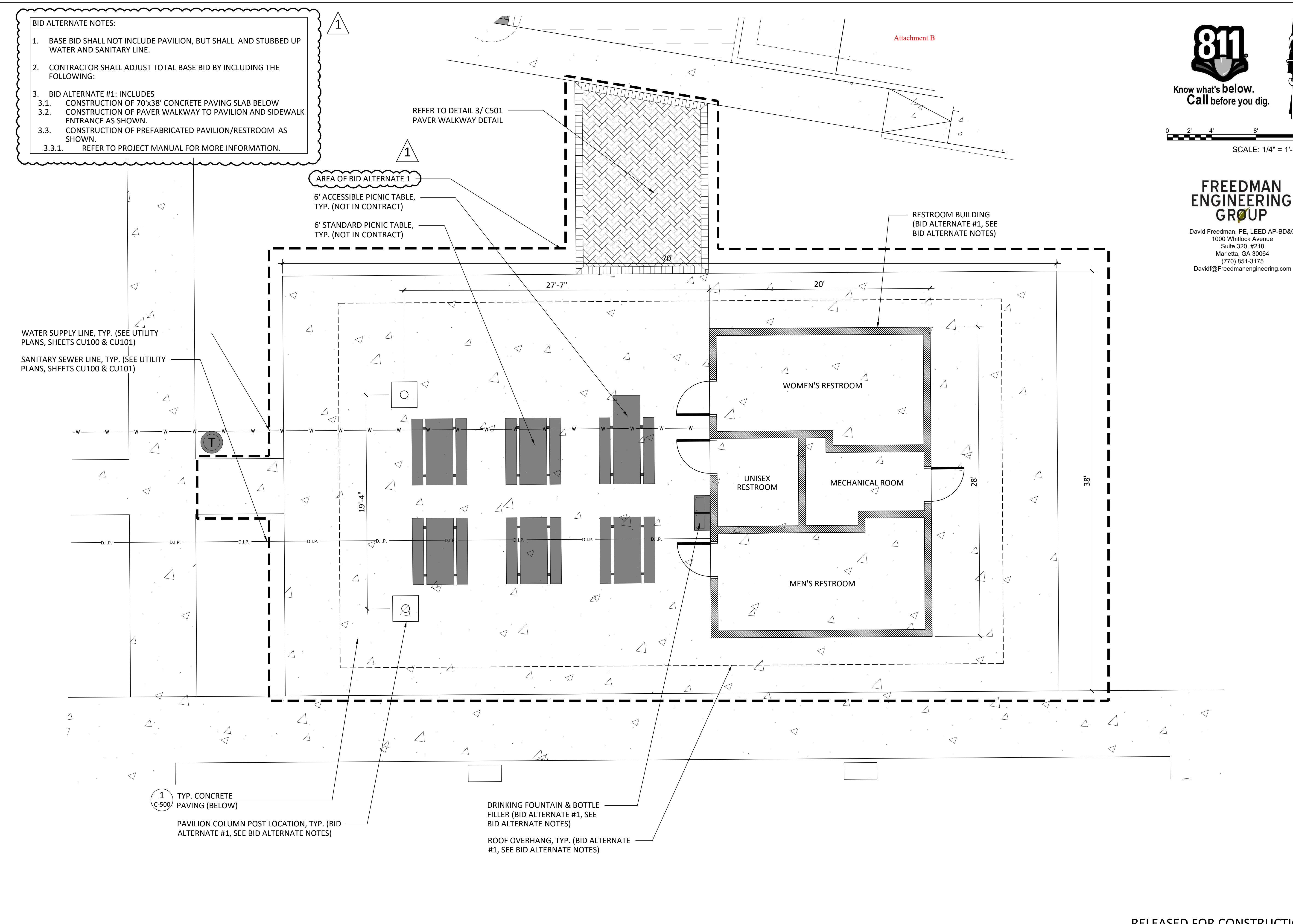
NO.	DATE	DESCRIPTION
1	09.27.24	BIDDING ADDENDUM #1

Sheet Title:

Pavilion / Restroom Building Enlargement Plan

Sheet No:

**C-400**





**SUBSTITUTION REQUEST**  
(During the Bidding/Negotiating Stage)

Project:	<u>Tucker Pickleball Courts and Parking Lot Construction</u>	Substitution Request Number:	<u>Spec-0059620</u>
	<u>Tucker, GA</u>	From:	<u>Paulette Hogan, ICP Building Solutions Group</u>
To:	<u>Shanee Jackson , City of Tucker</u>	Date:	<u>09/11/2024</u>
	<u>procurement@tuckerga.gov, 6785979040</u>	A/E Project Number:	<u></u>
Re:	<u>Pickleball Court Color Coating Surfacing &amp; Re-Surfacing System</u>	Contract For:	<u>City of Tucker</u>

Specification Title:	<u>Pickleball Court Color Coating Surfacing &amp; Re-Surfacing System</u>	Description:	<u>Acrylic Pickleball Court Color Coating Surf</u>
Section:	<u></u>	Page:	<u></u>
		Article/Paragraph:	<u></u>

Proposed Substitution:	<u>Plexipave</u>		
Manufacturer:	<u>ICP Building Solutions Group</u>	Corporate HQ:	<u>150 Dascomb RD. Andover, MA 01810</u>
		Phone:	<u>(800) 225-1141</u>
Trade Name:	<u>Plexipave</u>	Model No.:	<u>N/A</u>

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

**The Undersigned certifies:**

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Proposed substitution does not affect dimensions and functional clearances.

Submitted by:	<u>Paulette Hogan</u>
Signed by:	<u>Paulette Hogan</u>
Firm:	<u>ICP Building Solutions Group</u>
Address:	<u></u>
	<u>, MA</u>
Telephone:	<u>, phogan@icpgroup.com</u>

**A/E' s REVIEW AND ACTION**

- Substitution approved - Make submittals in accordance with Specification Substitution Procedures.
- Substitution approved as noted - Make submittals in accordance with Specification Substitution Procedures.
- Substitution rejected - Use specified materials.
- Substitution Request received too late - Use specified materials.

<b>Signed by:</b>		<b>Date:</b>	<u>9/13/24</u>
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Supporting Data Attached:	<input type="checkbox"/> Drawings	<input type="checkbox"/> Product Data	<input type="checkbox"/> Samples	<input type="checkbox"/> Tests	<input type="checkbox"/> Reports	<input type="checkbox"/> _____
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