

Planning and Zoning  
 1975 Lakeside Parkway, Suite 350  
 Tucker, GA 30084  
 Phone: 678-597-9040  
 Website: www.tuckerga.gov

# Land Use Petition Application

Type of Application:  Rezoning  Comprehensive Plan Amendment  Special Land Use Permit  
 Concurrent Variance  Modification

## APPLICANT INFORMATION

Applicant is the:  Property Owner  Owner's Agent  Contract Purchaser

Name: *Tuy Pham*

Address: *2459 Elizabeth Ann Ln NE*

City: *Atlanta* State: *GA* Zip: *30324*

Contact Name:

Phone: *404-514-7802* Email: *TERXACP.COM*

## OWNER INFORMATION

Name: *"Same"*

Address:

City: State: Zip:

Contact Name:

Phone: Email:

## PROPERTY INFORMATION

Property Address: *2212 Fellowship Rd Tucker, GA 30084*

Present Zoning District(s): *DT-2* Requested Zoning District(s): *DT-2*

Present Land Use Category: *Downtown* Requested Land Use Category: *Downtown*

Land District: *18* Land Lot(s): *213* Acreage: *0.28*

Proposed Development: *Major modification to allow compounding pharmacy in existing building.*

Concurrent Variance(s): *N/A*

## RESIDENTIAL DEVELOPMENT

No. of Lots/Dwelling Units: Dwelling Unit Size (Sq. Ft.): Density:

## NON-RESIDENTIAL DEVELOPMENT

No. of Buildings/Lots: Total Building Sq. Ft.: Density:

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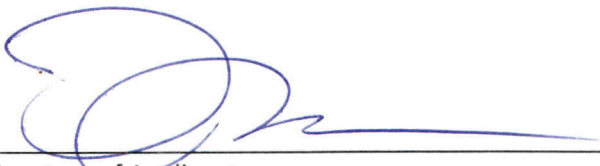
LAND USE PETITION APPLICATION - REVISED OCTOBER 24, 2022

PLANNING & ZONING  
DEPARTMENT

RZ-24-0001

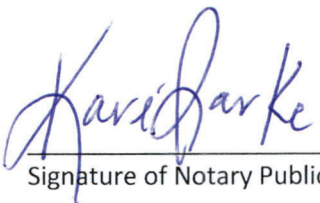
**APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW STATES UNDER OATH THAT THEY ARE AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 24 MONTHS FROM THE DATE OF LAST ACTION BY THE MAYOR AND CITY COUNCIL.

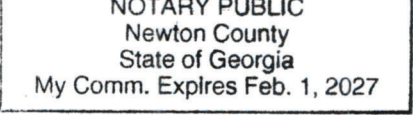
  
Signature of Applicant

*9/7/2023*  
Date

*Thy Pham - Owner*  
Type or Print Name and Title

  
Signature of Notary Public

*9/7/23*  
Date

  
Notary Seal

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DEPARTMENT

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**PROPERTY OWNER'S CERTIFICATION**

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of DeKalb County, Georgia, of the property identified below, which is the subject of the attached Land Use Petition before the City of Tucker, Georgia. As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Rezoning (RZ), Comprehensive Plan Amendment (CA), Special Land Use Permit (SLUP), Modification (M) & Concurrent Variance (CV) in request of the items indicated below.

I, Thy Pham, authorize, Thy Pham,  
(Property Owner) (Applicant)

to file for \_\_\_\_\_, at 2215 Fellowship Rd Tucker, GA  
(RZ, CA, SLUP, M, CV) (Address) 30084

on this date September 7, 20 23  
(Month) (Day)

- I understand that if a rezoning is denied or assigned a zoning classification other than the classification requested in the application, then no portion of the same property may again be considered for rezoning for a period of twenty-four (24) months from the date of the mayor and city councils' final decision.
- I understand that if an application for a special land use permit affecting all or a portion of the same property for which an application for the same special land use was denied shall not be submitted before twenty-four (24) months have passed from the date of final decision by the mayor and city council on the previous special land use permit.
- I understand that failure to supply all required information (per the relevant Applicant Checklists and requirements of the Tucker Zoning Ordinance) will result in REJECTION OF THE APPLICATION.
- I understand that preliminary approval of my design plan does not authorize final approval of my zoning or signage request. I agree to arrange additional permitting separately, after approval is obtained.
- I understand that representation associated with this application on behalf of the property owner, project coordinator, potential property owner, agent or such other representative shall be binding.

[Signature] 9/7/2023  
Signature of Property Owner Date

Thy Pham, Owner  
Type or Print Name and Title

Kare Parker 9/7/23  
Signature of Notary Public Date

**KARE PARKER**  
NOTARY PUBLIC  
Newton County  
State of Georgia  
My Comm. Expires Feb. 1, 2027

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**01/04/2024**  
LAND USE PETITION APPLICATION - REVISED OCTOBER 24, 2022

PLANNING & ZONING  
DEPARTMENT

KARE PARKER  
NOTARY PUBLIC  
Newton County  
State of Georgia  
My Comm. Expires 12/31/2024

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# ANALYSIS OF STANDARDS/CRITERIA

## **ZONING MAP AMENDMENT CRITERIA**

Section 46-1560 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant to the exercise of the city's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

## **COMPREHENSIVE PLAN MAP AMENDMENT CRITERIA**

Section Sec. 46-1559 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant for evaluating applications for amendments to the comprehensive plan map and shall govern the review of all proposed amendments to the comprehensive plan map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

## **SPECIAL LAND USE PERMIT CRITERIA**

Section 46-1594 and 46-1595 of the City of Tucker Zoning Ordinance lists specific criteria that shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in Article 4. The applicant shall write a detailed written analysis of criteria as it relates to their proposed project.

## **CONCURRENT VARIANCE CRITERIA**

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with this criteria, if they are requesting a concurrent variance.

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**DISCLOSURE REPORT FORM**

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

**CIRCLE ONE:** YES (if YES, complete points 1 through 4);

**NO** (if NO, complete only point 4)

1. **CIRCLE ONE:** **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

**In Opposition to Petition** (If in opposition, proceed to sections 3 and 4 below)

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:


1. _____	5. _____
2. _____	6. _____
3. _____	7. _____
4. _____	8. _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Thy Pham

Signature: 

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Date: 10/19/2023

**01/04/2024**

November 26, 2023

PhamCareRx LLC  
DBA: Atlanta City Pharmacy: Compounding & Wellness  
2215 Cheshire Bridge Rd NE Ste D  
Atlanta, GA 30324

Letter of Intent

PhamCareRx LLC (DBA: Atlanta City Pharmacy: Compounding & Wellness) intends to do an interior renovation, and use the existing building at 2212 Fellowship Rd, Tucker, GA 30084, as a compounding pharmacy.

Pharmacy compounding is the creation of a unique medical preparation or drug by a compounding pharmacist. It all starts with a problem: the child who can't swallow pills, the patient with a gluten allergy, the much-needed drug that's in short supply. For whatever reason, many people aren't served by mass-produced medications. A compounding pharmacist is able to provide a solution.

Our Vision for PhamCareRx LLC is to provide quality and affordable, non-sterile compounding medications to the public. PhamCareRx LLC is an independent, family owned and operated business since 2013.. We are currently located at 2215 Cheshire Bridge Rd NE Ste D, Atlanta, GA 30324, and we intend to move our business to Tucker, GA in 2024.

We look forward to working with the city of Tucker towards the renovation of the existing building and hope to be completely moved in by Spring 2024.

Sincerely,



Thy Pham  
Owner/ Manager

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## Analysis of Criteria

1. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan.
  - A. Yes, the zoning is in conformity with the Tucker downtown comprehensive plan. PharmCareRx LLC is maintaining the original aesthetic building façade.
  
2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property or properties.
  - A. Yes, the compounding pharmacy is suitable with the development of adjacent and nearby property or properties. There is a pet retail store adjacent to the property. Behind the building is a huge shopping plaza with Ace hardware, restaurants, and various shops. Across directly to the building is a General Dollar retail store. However, to the left of the building is a rental property. Adjacent to the rental property is a church that is being revitalized.
  
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned.
  - A. The property can have some economic uses as currently zoned but not for what we need to do with the building.
  
4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property or properties.
  - A. The business will not adversely affect the adjacent or nearby properties since there is minimum traffic to the business. We expected less than 10 visitors a day during business hours from Monday to Friday, 9:30 am to 4 pm.
  
5. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.
  - A. There are no additional exterior changes to the existing building. The renovation will be the interior of the existing building to accommodate the pharmacy workflow.
  
6. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources.
  - A. The business will not adversely affect historic buildings, sites, districts, or archaeological resources. We are not making any exterior alteration to the existing building except for proposed two parking spaces in the rear of the building.

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7. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools

- A. The compounding pharmacy will not cause an excessive or burdensome use of the existing streets, transportation facilities, utilities, or school. We expect less than 10 guests a day during business hours.

8. Whether the zoning proposal adversely impacts the environment or surrounding natural resources.

- A. The zonal proposal will not adversely impact the environment or surrounding natural resources. Since we are not making any exterior alterations and there is minimal traffic impact.

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VERTICAL DATUM NAVD88

EXIST. HOUSE FFE  
MAIN 1106.74

\* LEGEND \*

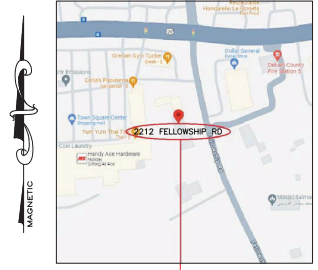
- APD AS PER DEED
- AC ACCESS EASEMENT
- APF AS PER FIELD
- AI ANGLE IRON FOUND
- AF ANGLE IRON FOUND
- APR AS PER PLAT
- APR AS PER RECORD
- APZ AS PER ZONING
- B BOLLARD
- BLK BLOCK OF CURB
- BLK BLOCK
- BR BRICK
- BR BRICK
- CBX CENTER BOX
- CBX CENTER BOX
- CLF CHAIN LINK FENCE
- CLM CADASTRAL MAP
- CMP CORRUGATED METAL PIPE
- C.O.A. CITY OF ATLANTA
- CO SAN. SEWER CLEANOUT
- CP CALCULATED POINT
- CPT CARPORT
- CR CRIMP TOP PIPE FOUND
- D DEED
- DE DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EB ELECTRIC POWER BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FI FIRE HYDRANT
- FP FENCE POST
- FR FRAME
- GA GAS LINE
- GM GAS METER
- GS GAS VALVE
- GW GUY WIRE
- HW HEAD WALL
- HW HARDWOOD TREE
- IM IRRIGATION CONTROL METER
- IPF IRON PIN FOUND
- IR IRON PIN FOUND
- IR IRON ROD FOUND
- IR IRON ROD FOUND
- IM IRRIGATION METER
- IV IRRIGATION VALVE
- JUNCTION BOX
- LP LIGHT POLE
- LL LOT AND LOT LINE
- MAG MAGNETIC READING
- MT MANGROVE TREE
- MH MAN HOLE
- MT METAL FENCE
- NH NAIL
- NYORS NYORS
- OPEN TOP PIPE FOUND
- OTB OVERSHOULDER LINE
- PC PORCH
- PC PROPERTY CORNER
- PC PROPERTY LINE
- PCB POINT OF BEGINNING
- PCP POINT OF COMMENCEMENT
- PP POWER POLE
- PL PLAT
- PL RECORD
- REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- REINFORCED CONC. PIPE
- RIGHT-OF-WAY
- RS RECORD
- RS SANITARY SEWER LINE
- RS SANITARY SEWER EXHAUST
- SC SCREENED PORE
- SP TOP OF BANK
- TP TRAFFIC POLE
- UE UTILITY EASEMENT
- W WOOD
- WF WOOD FENCE
- WF WOOD FENCE
- WCK WOOD CHECK
- WATER LINE
- WM WATER METER
- WF WATER VALVE
- WV WATER VALVE
- WE WEATHER
- WHD WHD INLET
- X-X FENCE
- INDICATES STAIRS
- INDICATES BUSHES

\* LINE INDICATORS \*

- INDICATES EASEMENT
- INDICATES FENCE LINE
- INDICATES POWER LINE
- INDICATES SANITARY SEWER LINE
- INDICATES DRAINAGE LINE
- INDICATES WATER LINE
- YELLOW LINE (FUEL/GAS/OL)
- RED LINE (ELECTRICAL)
- ORANGE LINE (TELECOM)

\* SYMBOLS \*

- ELECTRIC PANEL/METER
- WATER METER
- AIR CONDITIONER
- GAS METER
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- TRAFFIC/INFO SIGN
- GAS MARKER
- FIRE HYDRANT
- LAMP POST
- INDICATES INLET



SITE LOCATION MAP (NOT TO SCALE)

**FLOOD NOTE:**

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO SPECIAL FLOOD ELEVATION STUDY.

EFFECTIVE DATE: 8/16/2019

**FUTURE FLOOD DISCLAIMER:**

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFORT DATE, AS SHOWN, THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

**SURVEY NOTES:**

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN LOST OR COVERED UNDER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO RECORDS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE AND SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEAS, EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTIONS.
- SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREON. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

**ZONING NOTE:**

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT. ZONING INFORMATION SHOWN HEREON WAS DERIVED FROM ONLINE SOURCE MUNICODC.



PROPERTY IS ZONED DT-2 CITY OF TUCKER

BUILDING SETBACKS:  
FRONT 5'  
SIDE 0'  
REAR 20'  
MAX LOT COVERAGE 80%  
MAX BUILDING HEIGHT 35' (3 STORIES)

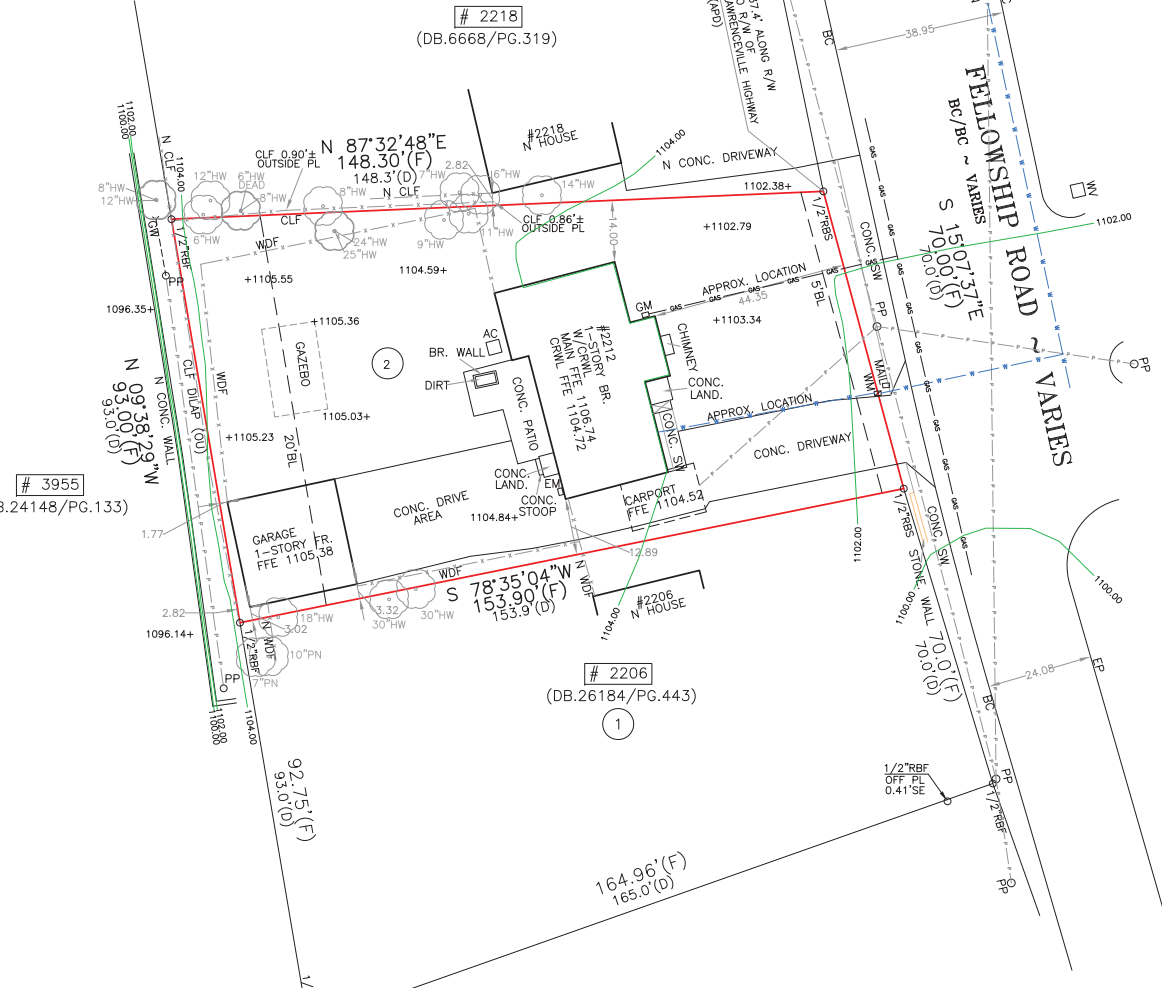
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SCALE 1" = 20'

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0 20  
SCALE 1" = 20'



TOTAL LAND AREA  
12216.96 SF / 0.280 AC

ALLOWABLE LOT COVERAGE  
9773.57 SF / 0.224 AC / 80.0%

EXISTING LOT COVERAGE  
4547.62 SF / 0.104 AC / 37.22%

LOT 2		VERA M. FRAZIER PROPERTY SUBDIVISION	
LAND LOT 213		18TH DISTRICT SECTION	
DEKALB COUNTY, GEORGIA		DB.29536/PG.568	
FIELD WORK DATE DEC 21, 2023	PRINTED/SIGNED DECEMBER 22, 2023		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 18" x 24"	
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 06 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
VY/AP COORD #20232044 DWG #20232044	<b>SURVEY LAND EXPRESS, INC</b> LAND SURVEYING SERVICES 24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0841 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM		

EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1

**THY PHAM**

PROPERTY ADDRESS:  
2212 FELLOWSHIP RD  
TUCKER, GA 30064

24 LENOX POINTE  
ATLANTA, GA 30324  
FAX 404-601-0841  
TEL 404-252-5747  
INFO@SURVEYLANDEXPRESS.COM

BY MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE FIELD DATA AND IS ACCURATE TO THE STANDARD TOLERANCES AND REQUIREMENTS OF LAW.

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\* LINE INDICATORS \*

INDICATES FENCE LINE

\* SYMBOLS \*

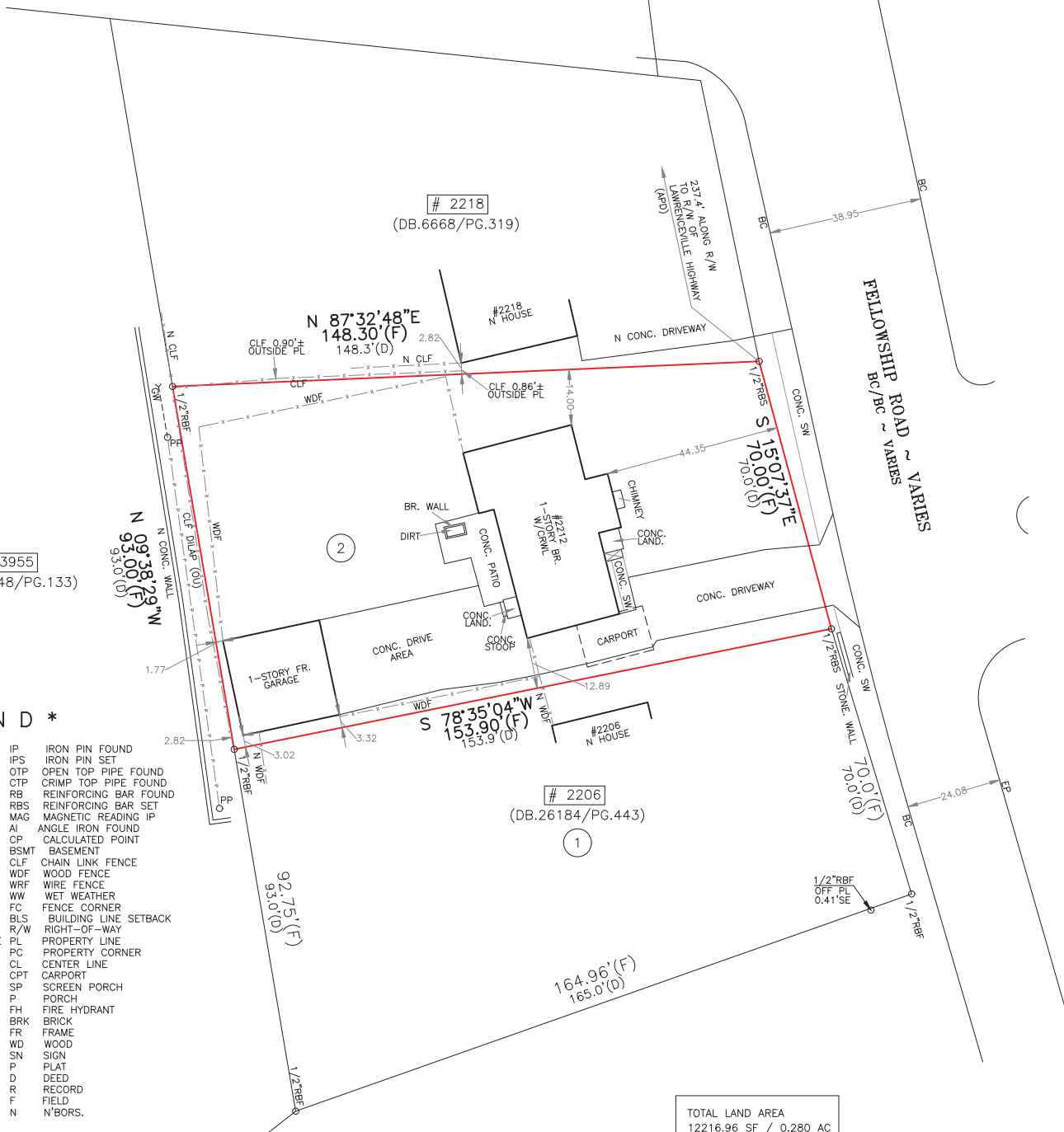
STAIRS  
POWER POLE

\* LEGEND \*

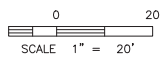
- |                           |                           |
|---------------------------|---------------------------|
| POB POINT OF BEGINNING    | IP IRON PIN FOUND         |
| LLL LAND LOT LINE         | IPS IRON PIN SET          |
| MH MAN HOLE               | OTP OPEN TOP PIPE FOUND   |
| SSL SANITARY SEWER LINE   | CTP CRIMP TOP PIPE FOUND  |
| SSS SAN SEWER CLEANOUT    | RF REINFORCING BAR FOUND  |
| CB CATCH BASIN            | RBS REINFORCING BAR SET   |
| JB JUNCTION BOX           | MAG MAGNETIC READING IP   |
| DI DRAINAGE INLET         | AI ANGLE IRON FOUND       |
| YI YARD INLET             | CP CALCULATED POINT       |
| HW HEAD WALL              | BSMT BASEMENT             |
| PP POWER POLE             | CLF CHAIN LINK FENCE      |
| PW POWER LINE             | WDF WOOD FENCE            |
| SSE SANITARY SEWER ESMT.  | WRF WIRE FENCE            |
| DE DRAINAGE EASEMENT      | WW WET WEATHER            |
| UE UTILITY EASEMENT       | FC FENCE CORNER           |
| AE ACCESS EASEMENT        | BLS BUILDING LINE SETBACK |
| TB TOP OF BANK            | R/W RIGHT-OF-WAY          |
| CMP CORRUGATED METAL PIPE | PL PROPERTY LINE          |
| RCP REINFORCED CONC. PIPE | PC PROPERTY CORNER        |
| APP AS PER PLAT           | CL CENTER LINE            |
| APD AS PER DEED           | CPT CARPORT               |
| APR AS PER RECORD         | SP SCREEN PORCH           |
| APF AS PER FIELD          | P PORCH                   |
| BC BACK OF CURB           | FH FIRE HYDRANT           |
| EP EDGE OF PAVEMENT       | BRK BRICK                 |
| EB ELECTRIC POWER BOX     | FR FRAME                  |
| EM ELECTRIC METER         | WD WOOD                   |
| GM GAS METER              | SN SIGN                   |
| GV GAS VALVE              | P PLAT                    |
| WM WATER METER            | D DEED                    |
| WV WATER VALVE            | R RECORD                  |
| OH OVERHANG               | F FIELD                   |
| OU OWNERSHIP UNCLEAR      | N N'BSRS.                 |

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREON. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.



TOTAL LAND AREA  
12216.96 SF / 0.280 AC



LOT 2	BLOCK	BOUNDARY SURVEY PREPARED FOR:	SHEET 1 OF 1
VERA M. FRAZIER PROPERTY SUBDIVISION	UNIT	THY PHAM	
LAND LOT 213	18TH DISTRICT	SECTION	
DEKALB COUNTY, GEORGIA	DB.29536/PG.568	PB./PG.	
FIELD WORK DATE NOVEMBER 16, 2023	PRINTED/SIGNED NOVEMBER 20, 2023	PROPERTY ADDRESS:	2212 FELLOWSHIP RD TUCKER, GA 30064
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"		
<p>THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.</p>			
<p>VY COORD #20232044 DWG #20232044</p>	<p><b>SURVEY LAND EXPRESS, INC</b> LAND SURVEYING SERVICES</p>	<p>24 LENOX POINTE ATLANTA, GA 30324 FAX: 404-651-0941 TEL: 404-252-5747 INFO@SURVEYLANDEXPRESS.COM</p>	



EXIST. HOUSE FFE  
MAIN 1106.74

FFE IS MEASURED AT  
THE FRONT DOOR  
THRESHOLD

NO GRADED SLOPES  
SHALL EXCEED 3H:1V

THE PLACEMENT OF DUMPSTERS AND THE  
PARKING OF AUTOMOBILES IS PROHIBITED IN  
THE RIGHT-OF-WAY.

NO BURY PITS ON THE PROPERTY

NO WATERS OF THE STATE  
EXIST WITHIN 200' OF THE  
PROJECT SITE

TREE SAVE STATUS:  
X INDICATES TREE  
TO BE REMOVED

BMP W.Q. DEVICE  
NEW DOWNSPOUT  
COLLECTORS (TYP) AS  
NEEDED TO DIRECT ROOF  
RUNOFF TO UNDERGROUND  
STONE STORAGE

APPARENT SEPTIC

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

SILT FENCE HAND DUG IN CRZ

NO TREES TO BE REMOVED

CONSTRUCTION ENTRANCE/EXIT  
(WITH MULCH)

INDICATES 541 TYPE S SILT FENCE

INDICATES 541 TYPE H6 HAYBALES

INDICATES TREE PROTECTION FENCE

DISTURBED AREA STABILIZATION  
(WITH MULCH)

DISTURBED AREA STABILIZATION  
(W/ TEMPORARY VEGETATION)

DISTURBED AREA STABILIZATION  
(WITH PERMANENT VEGETATION)

DISTURBED AREA STABILIZATION  
(WITH SOCCING)

\* LEGEND \*

- APD AS PER DEED
AC ACCESS EASEMENT
AFF AS PER FIELD
AI ANGLE IRON FOUND
AF ANGLE IRON FOUND
APR AS PER RECORD
APZ AS PER ZONING
B BOULIARD
B.C. BACK OF CURB
BLK BLOCK
BLD BUILDING LINE SETBACK
BR BRICK
CBX CABLE BOX
CL CENTER LINE
CLF CHAIN LINK FENCE
CM CASTRAL MAP
CMP CORRUGATED METAL PIPE
CMA CITY OF ATLANTA
CO SAN SEWER CLEANOUT
COP CALCULATED POINT
CPT CARPORT
CTP CRAMP TOP PIPE FOUND
D DEED
DE DRAINAGE EASEMENT
DI DRAINAGE INLET
EB ELECTRIC POWER BOX
EM ELECTRIC METER
EP EDGE OF PAVEMENT
F FIELD
FC FENCE CORNER
FH FIRE HYDRANT
FP FENCE POST
FR FRAME
SL GAS LINE
GM GAS METER
GV GAS VALVE
GW GUY WIRE
HW HEAD WALL
HW HARDWOOD TREE
IM IRRIGATION CONTROL METER
IPF IRON PIN FOUND
IPS IRON PIN SET
IR IRON ROD FOUND
IR IRON FENCE
IM IRRIGATION METER
IV IRRIGATION VALVE
JB JUNCTION BOX
LP LIGHT POLE
LL LAND LOT LINE
M MAGNETIC READING
MON MAGNOLIA TREE
M MAN HOSE
MTF METAL FENCE
N NYRSES
OH OVERHANG
CPT OPEN TOP PIPE FOUND
OU OWNERSHIP UNCLEAR
P POORCH
PC PROPERTY CORNER
PL PROPERTY LINE
PN PINE TREE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PP POWER POLE
PW POWER LINE
P PLAT
R RECORD
RBF REINFORCING BAR FOUND
RBS REINFORCING BAR SET
RCP REINFORCED CONC. PIPE
R/W RIGHT-OF-WAY
S SIGN
SCL SANITARY SEWER LINE
SSE SANITARY SEWER EASEMENT
SP SCREENED PORCH
TB TOP OF BANK
TP TRAFFIC POLE
LE UTILITY EASEMENT
WD WOOD
WDF WOOD FENCE
WDK WOOD DECK
WL WATER LINE
WM WATER METER
WVF WATER VALVE
WM MET WEATHER
YI YARD INLET
X-X FENCE
INDICATES STAIRS
INDICATES BUSHES

LIMITS OF  
DISTURBANCE

LIMITS OF  
DISTURBANCE

ALL DISTURBED AREAS

Ds1 Ds2 Ds3

ALL EXISTING  
UTILITIES TO REMAIN

DRIVEWAY ENTRANCE  
DEKALB CO. STANDARD 709 & 710

\* SYMBOLS \*

- ELECTRIC PANEL/WATER
WATER METER
AIR CONDITIONER
GAS METER
JUNCTION BOX
SANITARY SOWER MANHOLE
STONE MANHOLE
SIC MANHOLE
LAMP POST
METAL POST
WATER VALVE
HEADBALL
STAIRS
DRAINAGE INLET
FIRE HYDRANT

\* LINE INDICATORS \*

- INDICATES SANITARY SEWER LINE
INDICATES POWER LINE
INDICATES WATER LINE
INDICATES GAS LINE
INDICATES FENCE LINE
INDICATES DRAINAGE LINE
INDICATES EASEMENT



IF YOU DIG GEORGIA...
CALL US FIRST
1-800-282-7411
770-823-4344
(METRO ATLANTA ONLY)
UTILITY PROTECTION CENTER

EROSION CONTROL LEGEND

Table with 4 columns: Ds1, Ds2, Ds3, and Tr. Each cell contains a description of erosion control measures like 'DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)' and 'A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE...'.

TREE PROTECTION: (Tr)

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
3. KEEP OUT SIGN.

TOTAL LAND AREA: 12216.96 SF / 0.280 AC
ALLOWABLE LOT COVERAGE: 9773.57 SF / 0.224 AC / 80.0%
EXISTING LOT COVERAGE (PRE CONSTRUCTION): 4547.62 SF / 0.104 AC / 37.22%
PROPOSED LOT COVERAGE (POST CONSTRUCTION): 4528.47 SF / 0.103 AC / 37.06%
DISTURBED AREA: 1091.09 SF / 0.025 AC

RELEASED FOR CONSTRUCTION

LOT 2
VERA M. FRAZER PROPERTY SUBDIVISION
DEKALB COUNTY, GEORGIA
FIELD WORK DATES: DEC 21, 2022
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED

EROSION CONTROL & GRADING PLAN

SITE PLAN PREPARED FOR: THY PHAM
PROPERTY ADDRESS: 2212 FELLOWSHIP RD, TUCKER, GA 30084



RECEIVED SURVEY LAND EXPRESS, INC
LAND SURVEYING SERVICES

24 CUNY SOURCE
ATLANTA, GA 30324
TEL: 404-850-0941
TEL: 404-252-8747
WWW.SURVEYLANDEXPRESS.COM

01/15/2024
PLANNING & ZONING DEPARTMENT
RZ-24-0001



2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

OCCUPANCY CLASSIFICATION : COMMERCIAL OFFICE SPACE  
 YEAR BUILT : 1952  
 EXISTING STRUCTURE SQ' : 1,302 SQ FT.  
 PROPOSED STRUCTURE SQ : N/A.  
 No. STORIES (PROPOSED) : 1  
 LOT SIZE : 13,068 SQ FT  
 MLS : 16865215

The building described in these plans shall be in compliance with the following codes:

- International Building Code, 2021 Edition, with Georgia Amendments
- International Residential Code, 2021 Edition, with Georgia Amendment
- International Fire Code, 2021 Edition, with Georgia Amendment
- International Plumbing Code, 2021 Edition, with Georgia Amendment
- International Mechanical Code, 2021 Edition, with Georgia Amendments
- International Fuel Gas Code, 2021 Edition, with Georgia Amendments
- International Electrical Code, 2021 Edition, (No Georgia Amendments)
- International Energy Code, 2021 Edition, with Georgia Amendments
- NFPA 101, Life Safety Code, 2021 Edition
- Georgia Accessibility Codes

PROPOSED SQUARE FOOTAGE CALCS: N/A

SCOPE OF WORK: INTERIOR RENOVATIONS TO INCLUDE RELOCATION OF NON LOAD BEARING WALLS THROUGHOUT THE UNIT. NEW DOORS, LIGHT ELECTRICAL AND MARKING PARKING SPACES IN REAR OF BUILDING. .

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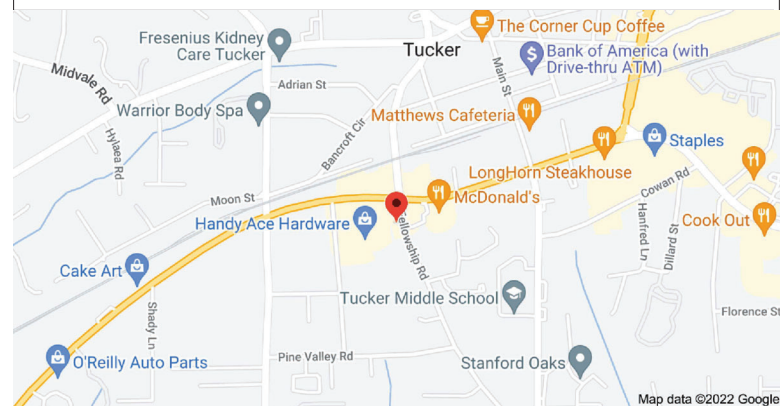
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DEPARTMENT

RZ-24-0001

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SHEET No.	
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A-2	PROPOSED DRAWINGS
A-3	ELECTRICAL PLAN
A-4	PLUMBING PLAN
A-5	PARKING PLAN

## VICINITY MAP



## VICINITY MAP

The square footage of a structure is to the nearest whole square foot.

The finished square footage calculations for this building was made based on plan dimensions or digital files, only and may vary from the finished square footage of the structure as built.

HIERO DESIGN  
1896 Fox Chapel Dr SE  
Georgia 30080  
yasin@hierodesign.com



HOME ADDITION  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

### REVISION

No.	DESCRIPTION	DATE

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PAGE: 1 of 6

CS



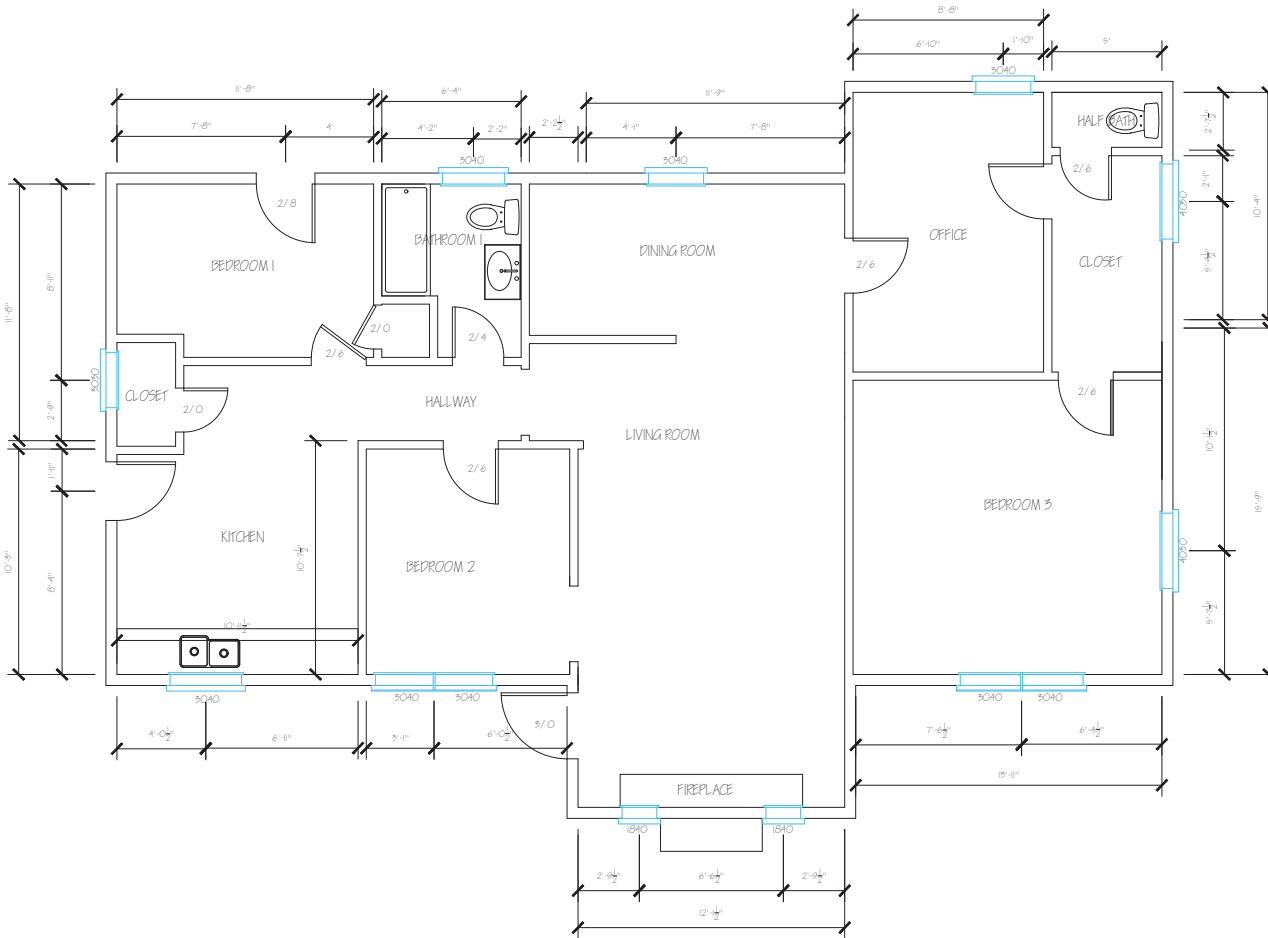
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DATE:  
22SEP23

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A-1



**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION 2 X 4 WD STDS @16" O.C. AND MATCH ADJACENT FINISHES
- NEW CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION

- GENERAL NOTES**
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. RECOMMENDATIONS.
  - IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
  - INTERIOR WALL DIMENSIONS ARE TO CENTER OF STUDS.
  - EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
  - CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE PLANS, DETAILS, AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
  - CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
  - ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
  - ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

EXISTING CONDITIONS - FLOOR PLAN

SCALE: 1/4" = 1'-0"

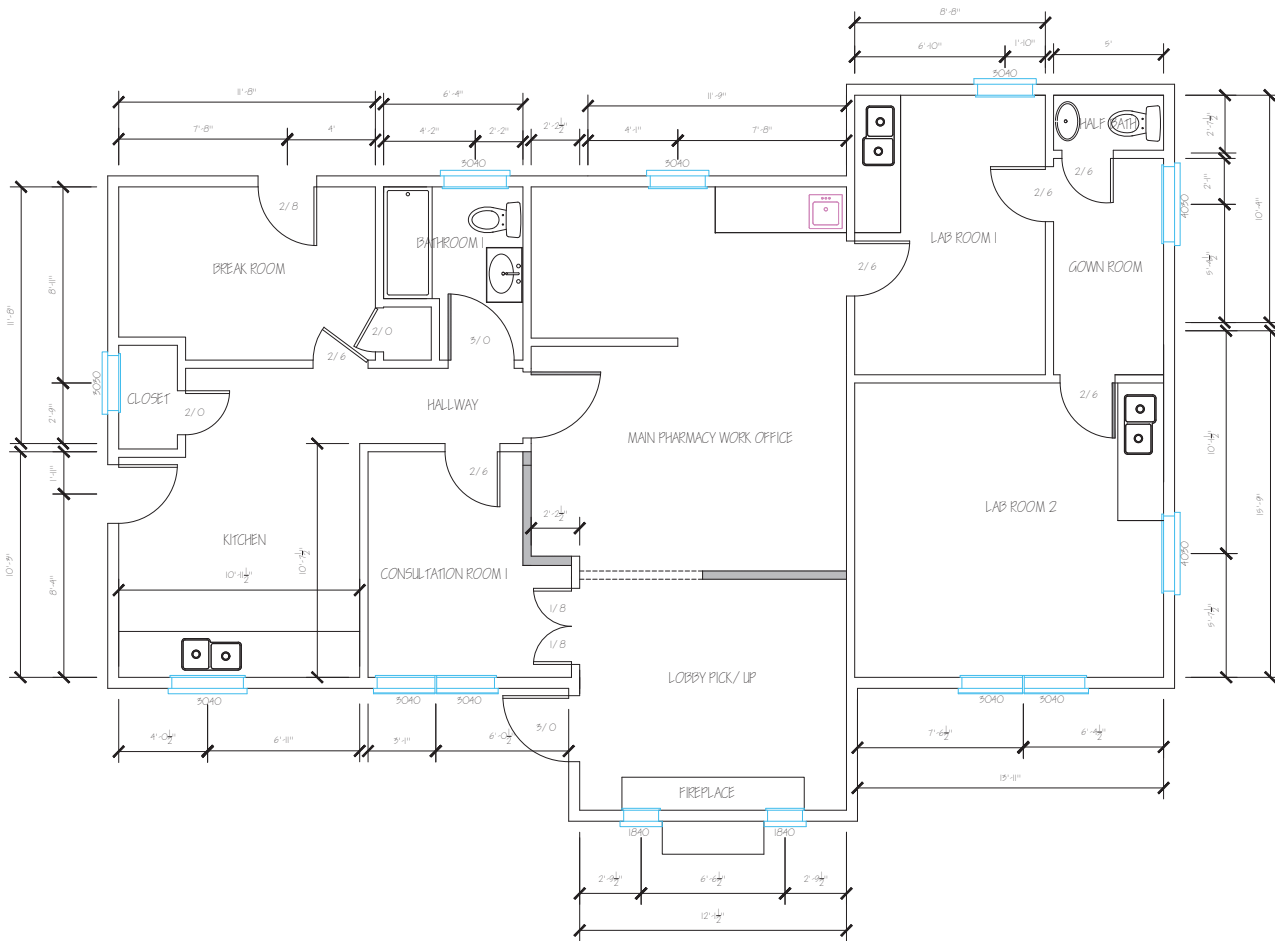
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**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
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PROPOSED - FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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HIERO DESIGN  
1886 FOX CHAPEL DR SE  
SMYRNA GA 30080



PROPOSED - FLOOR PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

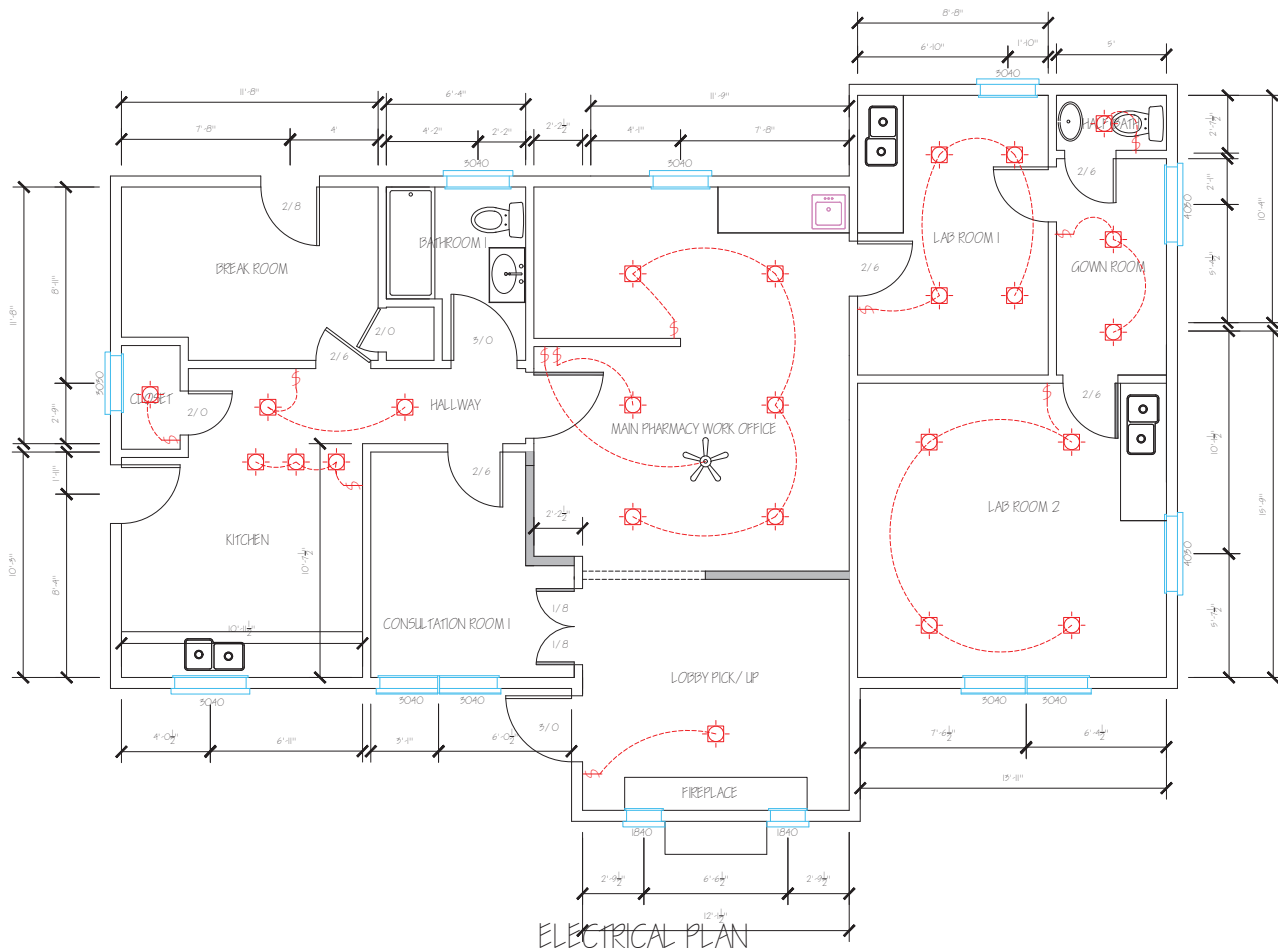
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Electric Lighting Symbols	
Symbol	Description
	RECESSED DOWN LIGHT
	LIGHT BOX
	RESTROOM VANITY FIXTURE
	DUPLEX RECEPTACLE OUTLET
	GFI PROTECTED OUTLET
	220 RECEPT
	SWITCH
	SMOKE DETECTOR
	SMOKE/CARBON MONO. DETECTOR
	CEILING FANS



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**


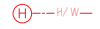



1. HVAC AND WATER HEATER LOCATED IN CRAWL SPACE.
2. ELECTRIC PLANS ARE FOR LAYOUT PURPOSES ONLY, CONSULT WITH A LICENSED ELECTRICIAN FOR EXACT SPEC'S TO MEET LOCAL CODES.
3. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTER'S PER LOCAL CODES. -KIT, COUNTERS, WET BAR, GARAGE AND EXT. OF HOUSE TO HAVE G.F.I.'S
4. PROVIDE AND INSTALL SMOKE AND CARBON MONOXIDE DETECTORS PER LOCAL CODE.
5. NO POINT ALONG COUNTERTOP TO BE MORE THAN 24" FROM AN OUTLET (48" BETWEEN OUTLETS)
6. AT LEAST 1 RECEPTACLE TO BE INSTALLED AT ISLAND COUNTER SPACE
7. ALL WALL SWITCHES, CONTROLLING DEVICES AND RECEPT. SHALL BE LOCATED IN AN AREA BETWEEN 15"-48" ABOVE FINISHED FLOOR.
8. ELECTRICAL PANELS SHALL BE LOCATED SO THAT IND. CIRCUIT BREAKERS ARE LOCATED BETWEEN 15"-54" ABOVE FINISHED FLOOR.

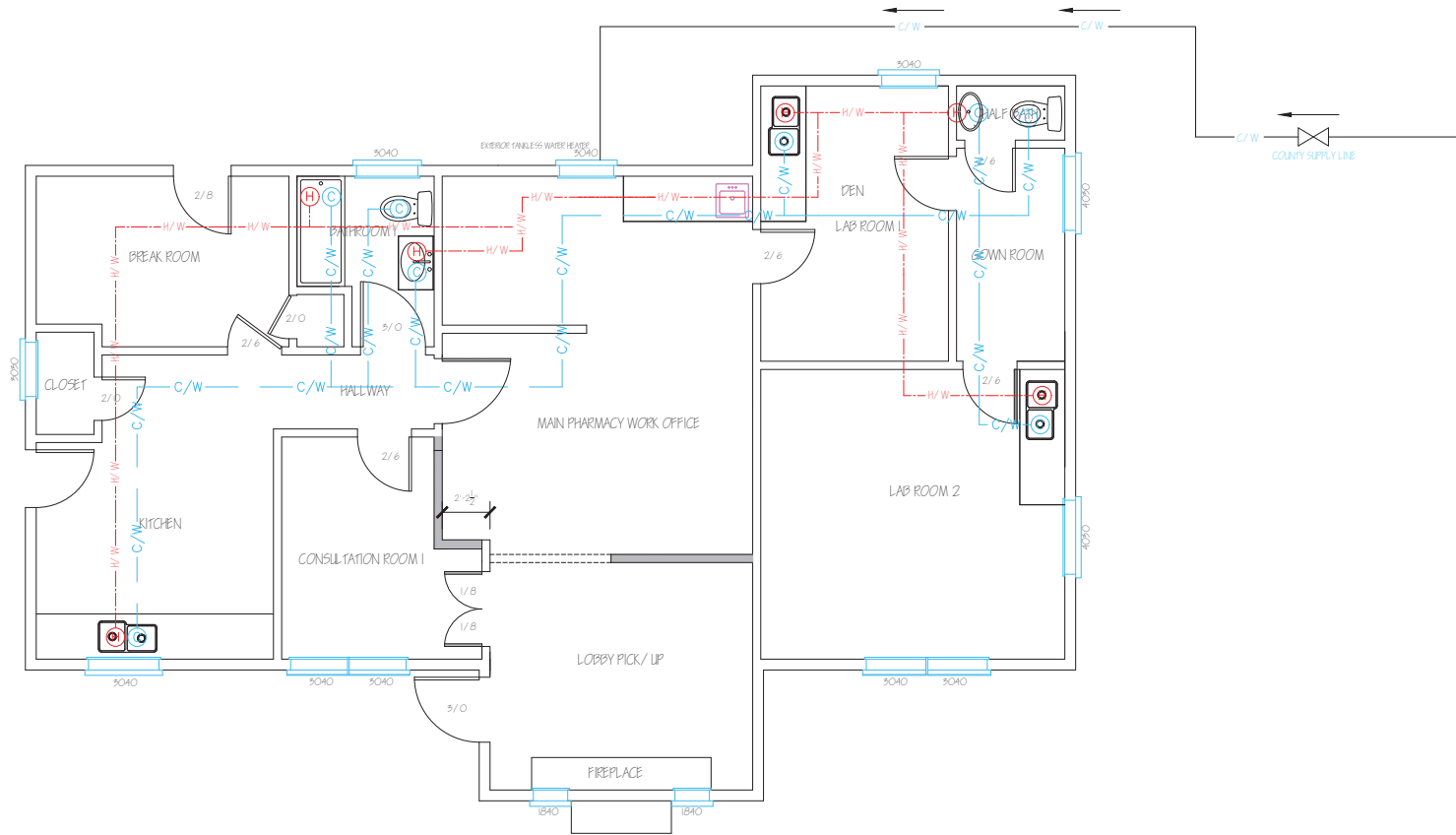
- LOCATE ELEC. PANEL AS PER ELECTRICIAN
- PROVIDE POWER AS REQUIRED FOR FURNACE, WATER HEATER, SUMP PUMP, ETC.
- PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE



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No.	DESCRIPTION	DATE

Plumbing Symbols	
Symbol	Description
	C/W COLD WATER LINE (1/2 INCH)
	H/W HOT WATER LINE (1/2 INCH)
	MAIN LINE M
	REGULATOR/WATER METER
	WATER METER



**PLUMBING GENERAL NOTES**

- ALL PLUMBING WORK SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND WITH THE CURRENTLY ADOPTED EDITION OF THE PREVAILING STATE CODE AS WELL AS ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO ACCOMPLISH A SAFE AND COMPLETE INSTALLATION OF THE SYSTEMS INDICATED ON THE DRAWINGS. ALL MATERIALS AND METHODS SHALL BE IN STRICT ACCORDANCE WITH ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS. WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, LICENSES, AND CERTIFICATES REQUIRED BY THE AUTHORITY HAVING JURISDICTION. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO ALL REQUIRED BUILDING DEPARTMENT FILING, INSPECTIONS, AND FINAL CLOSEOUT OF PERMITS.
- THE SCOPE OF WORK AS OUTLINED IN THESE DOCUMENTS ENDS AT A DISTANCE OF 5 FEET OUTSIDE THE BUILDING WALL. COORDINATE CONNECTION WITH CIVIL ENGINEER AND LOCAL UTILITY PROVIDER.
- THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO REPLACE OR REPAIR PROMPTLY AND ASSUME RESPONSIBILITY FOR ALL EXPENSES INCURRED FOR ANY WORKMANSHIP AND EQUIPMENT IN WHICH DEFECTS DEVELOP WITHIN ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. THIS WORK SHALL BE DONE AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL INCLUR ALL EXPENSES THAT RESULT FROM SUCH WORK.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO VERIFY EXISTING CONDITIONS AND CONFIRMATION AND LOCATIONS OF EXISTING SERVICES.
- PROVIDE ALL AS BUILT DRAWINGS TO GC TO VERIFY COMPLETION OF WORK AND FOR OWNERS'S RECORD.

**PLUMBING PLAN**

SCALE: 1/4" = 1'-0"

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DEPARTMENT**

**RZ-24-0001**

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SMYRNA GA 30080



PLUMBING PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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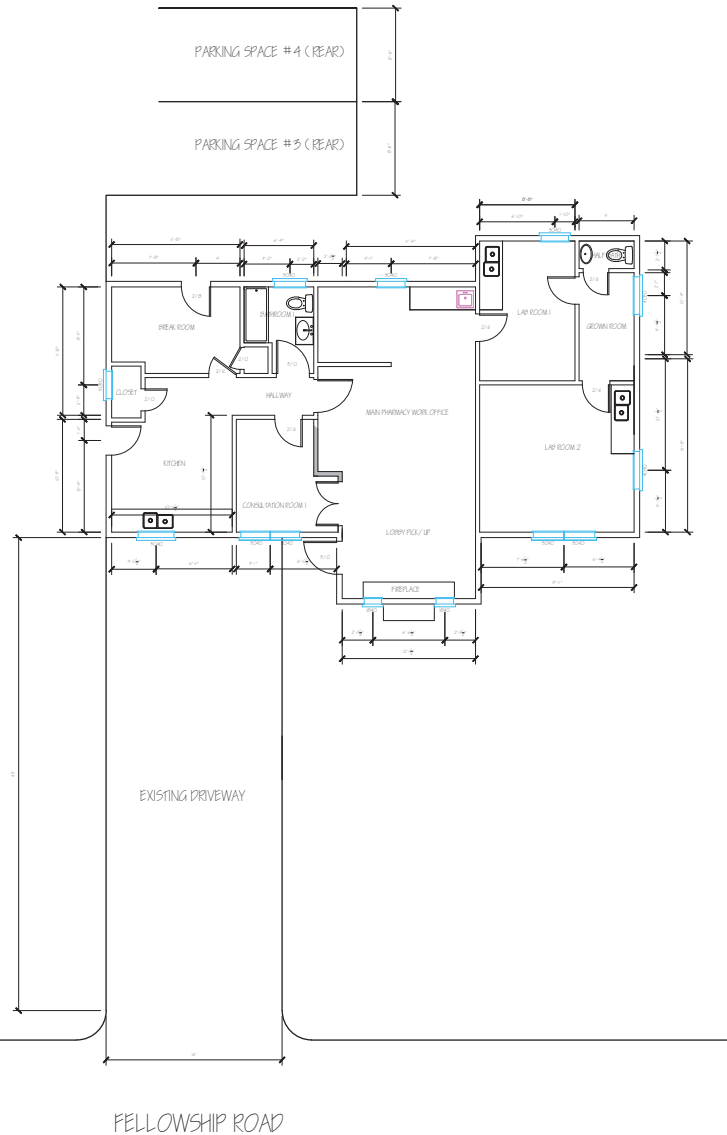
No.	DATE	DESCRIPTION

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**A-4**

GENERAL NOTES:

1. PARKING SPACES ARE STRIPPED AND HAVE AN ALLOCATION OF 18 FEET LONG AND 8' 6" WIDE PER STANDARD



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PARKING PLAN  
SCALE: 1/8" = 1'-0"

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SMYRNA GA 30080



PARKING PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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27NOV23

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## Environment Site Analysis

### CONFORMANCE WITH THE COMPREHENSIVE PLAN.

1. Using the existing building on 2212 Fellowship Rd Tucker, GA 30084 as a compounding pharmacy. The building is located in the Downtown character area of the Future Land Use (FLU) Map in the Tucker Tomorrow Comprehensive Plan. The primary land uses will be service commercial which is in line with the Tucker Comprehensive Plan. Having a compounding pharmacy at the location would encourage walkability since the building is located next to the Town Square Center shopping mall. There are retail, restaurants, and shopping stores located to the right and rear of the existing building. There is a Dollar General store located across the street from the building. To the left of the building is a rental property and following that house is a church that is undergoing a major renovation. To keep the size and style of Tucker's old buildings, there is no alteration to the exterior building.

### ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT

- A. Wetlands: Absent or no wetlands
- B. Floodplain: Absent or no floodplain
- C. Streams/Stream Buffers: Absent or no Streams/ stream buffers
- D. Slopes exceeds 25% percent over a 10-foot rise in elevation: Absent or none
- E. Vegetation: No alteration or impact on vegetation. We are keeping the existing plants, trees, and shrubs.
- F. Wildlife Species (including fish): There will be no impact on the wildlife species
- G. Archeological/ Historical Sites: Absent or no impact to archeological sites/ Historical Sites.

### PROJECT IMPLEMENTATION MEASURES:

- a. Protection of environmentally sensitive areas, i.e., floodplain, slopes exceeding 25 percent, river corridors.
  - i. The existing building is not in any sensitive areas such as floodplain, slopes exceeding 25% percent, river corridors, etc.
- b. Protection of water quality
  - i. The existing building is not in any sensitive areas such as floodplain, slopes exceeding 25% percent, river corridors, etc.
- c. Minimization of negative impacts on existing infrastructure
  - i. There is no alteration to the existing exterior building
- d. Minimization on archeological/historically significant areas
  - i. The existing building is not on archeological/ historically significant areas
- e. Minimization of negative impacts on environmentally stressed communities where environmentally stressed communities are defined as communities exposed to a minimum of two environmentally adverse conditions resulting from public and private municipal (e.g., solid waste and wastewater treatment facilities, utilities, airports, and railroads) and industrial (e.g., landfills, quarries and manufacturing facilities) uses.

PLANNING & ZONING  
CITY OF TUCKER

01/04/2024

PLANNING & ZONING  
DEPARTMENT

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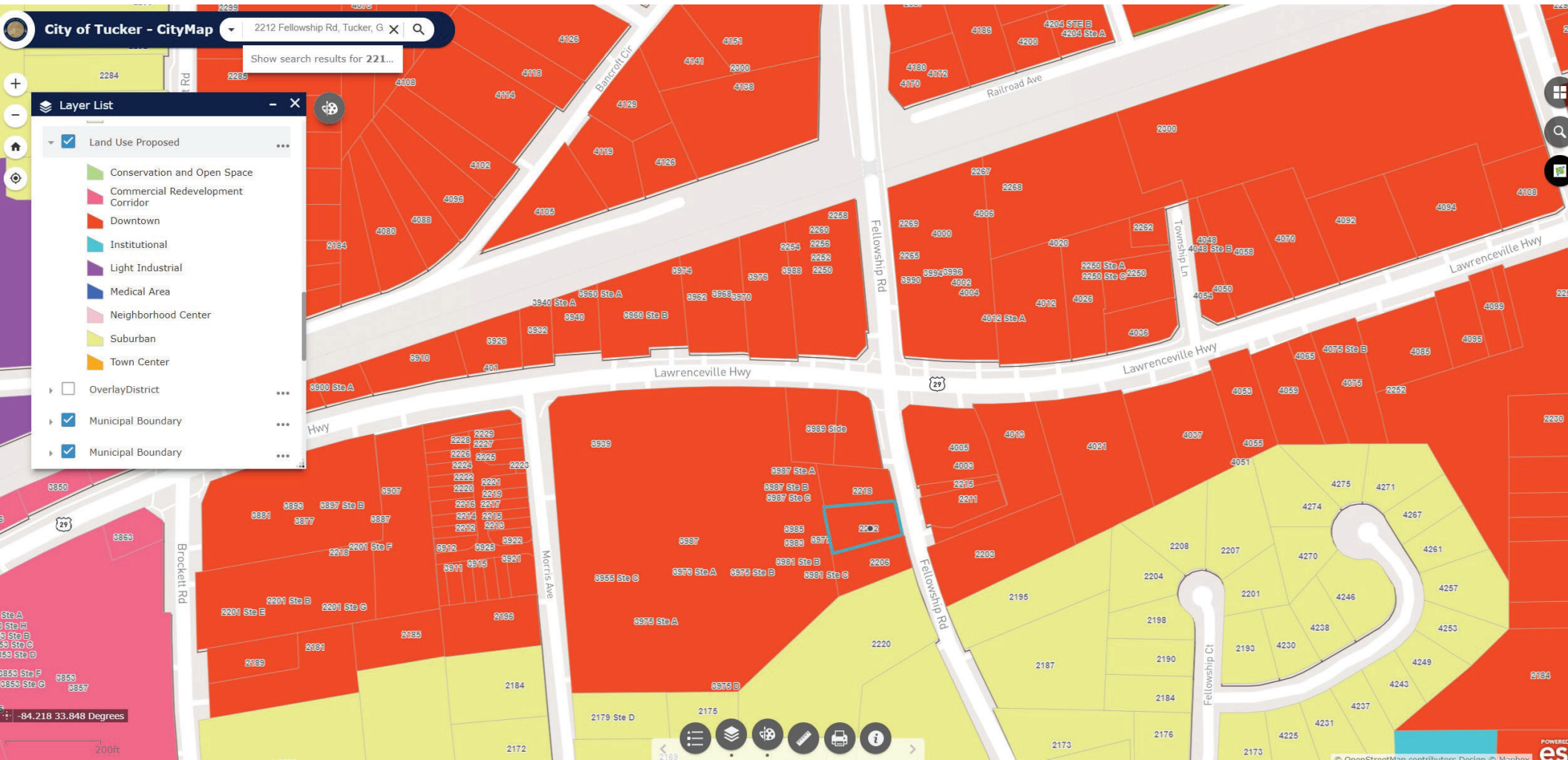
- i. There are no negative impacts on environmentally stressed communities. We are doing an interior renovation to the existing building to accommodate the pharmacy workflow.
- f. Creation and preservation of green space and open space
  - i. We are keeping the existing trees, plants, and shrubs.
- g. Protection of citizens from the negative impacts of noise and lighting
  - i. There will be no impacts of noise and lighting as the existing building isn't altered. No additional exterior lighting will be added. The pharmacy will plan on getting a permit for new signage. The pharmacy does not generate noise that will impact the neighborhood.
- h. Protection of parks and recreational green space
  - i. The existing building isn't by any park or recreational green space
- i. Minimization of impacts to wildlife habitats
  - i. There will be no impact to wildlife habitats. We are keeping the existing building and landscaping.

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01/04/2024

PLANNING & ZONING  
DEPARTMENT

RZ-24-0001



## MEMORANDUM

To: Thy Pham, Atlanta Compounding Pharmacy RX

From: Jin Seo, P.E., Kimley-Horn and Associates, Inc.

Date: November 20, 2023

RE: **2212 Fellowship Road - Trip Generation Memorandum**

Kimley-Horn is pleased to provide this memorandum summarizing the trip generation for the proposed repurposing of an existing 1,728 SF residential property at 2212 Fellowship Road in the City of Tucker, Georgia.

### PROJECT OVERVIEW

The site is located at 2212 Fellowship Road in the City of Tucker, Georgia. As currently envisioned, the existing 1,728 SF residential property will be repurposed into a compounding pharmacy site, with no drive-through window. Access to the site will be via the existing full-movement driveway along Fellowship Road.

This memorandum provides density and trip generation for the proposed 2212 Fellowship Road site. Additionally, the site layout for the proposed use is provided.

Figure 1 provides a location map. Figure 2 provides an aerial imagery of the project site.

### TRIP GENERATION

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the development and the distribution and assignment of that traffic through the study roadway network.

Anticipated trip generation for the proposed site was calculated using rates and equations contained in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 11<sup>th</sup> Edition.

The density and the project trip generation for the proposed development are summarized in **Table 1**.

Table 1: Trip Generation											
Land Use	ITE Code	Density	Daily Traffic			AM Peak			PM Peak Hour		
			Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit
Pharmacy/Drugstore without Drive-Through Window	880	1,728 SF	156	78	78	5	3	2	15	7	8
<b>Total</b>			<b>156</b>	<b>78</b>	<b>78</b>	<b>5</b>	<b>3</b>	<b>2</b>	<b>15</b>	<b>7</b>	<b>8</b>

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Based on the trip generation shown in **Table 1**, the proposed compounding pharmacy site is projected to generate approximately 156 daily trips (78 in, 78 out), 5 AM peak hour trips, and 15 PM peak hour trips.

## SUMMARY

The development site is located at 2212 Fellowship Road in the City of Tucker, Georgia. As currently envisioned, the existing 1,728 SF residential property will be repurposed into a compounding pharmacy site, with no drive-through window. Vehicular access to the site will be via the existing full-movement driveway along Fellowship Road.

Based on the trip generation, the proposed compounding pharmacy site is projected to generate approximately 156 daily trips (78 in, 78 out), 5 AM peak hour trips, and 15 PM peak hour trips.

We hope this information is helpful. Please contact me if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Jin Seo, P.E.  
Project Engineer

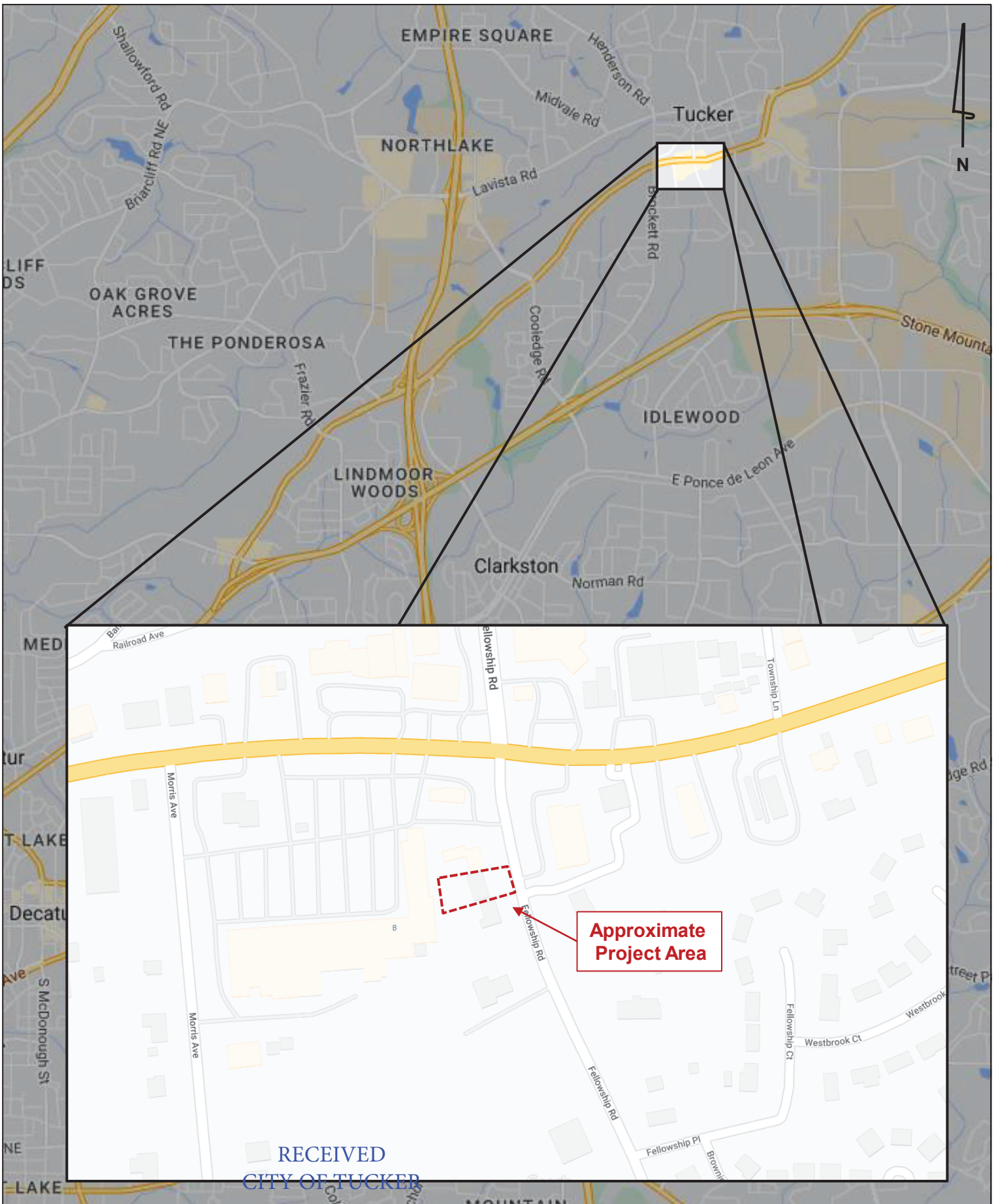
### Attachments:

- Figures 1-2
- Trip Generation Analysis
- 2212 Fellowship Road Site Layouts

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**2212 Fellowship Road  
Trip Generation Memorandum**

**Site  
Location  
Map**

**Figure  
1**

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8

LAWRENCEVILLE HWY

8

LAWRENCEVILLE HWY

FELLOWSHIP ROAD

FELLOWSHIP ROAD

Approximate Project Area

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Trip Generation Memorandum

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Site Aerial

Figure  
2

Trip Generation Analysis (11th Ed.) 2212 Fellowship Road City of Tucker, Georgia								
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
880 Pharmacy/Drugstore without Drive-Through Window	1,728 s.f.	156	5	3	2	15	7	8
<b>Total</b>	<b>1,728 s.f.</b>	<b>156</b>	<b>5</b>	<b>3</b>	<b>2</b>	<b>15</b>	<b>7</b>	<b>8</b>

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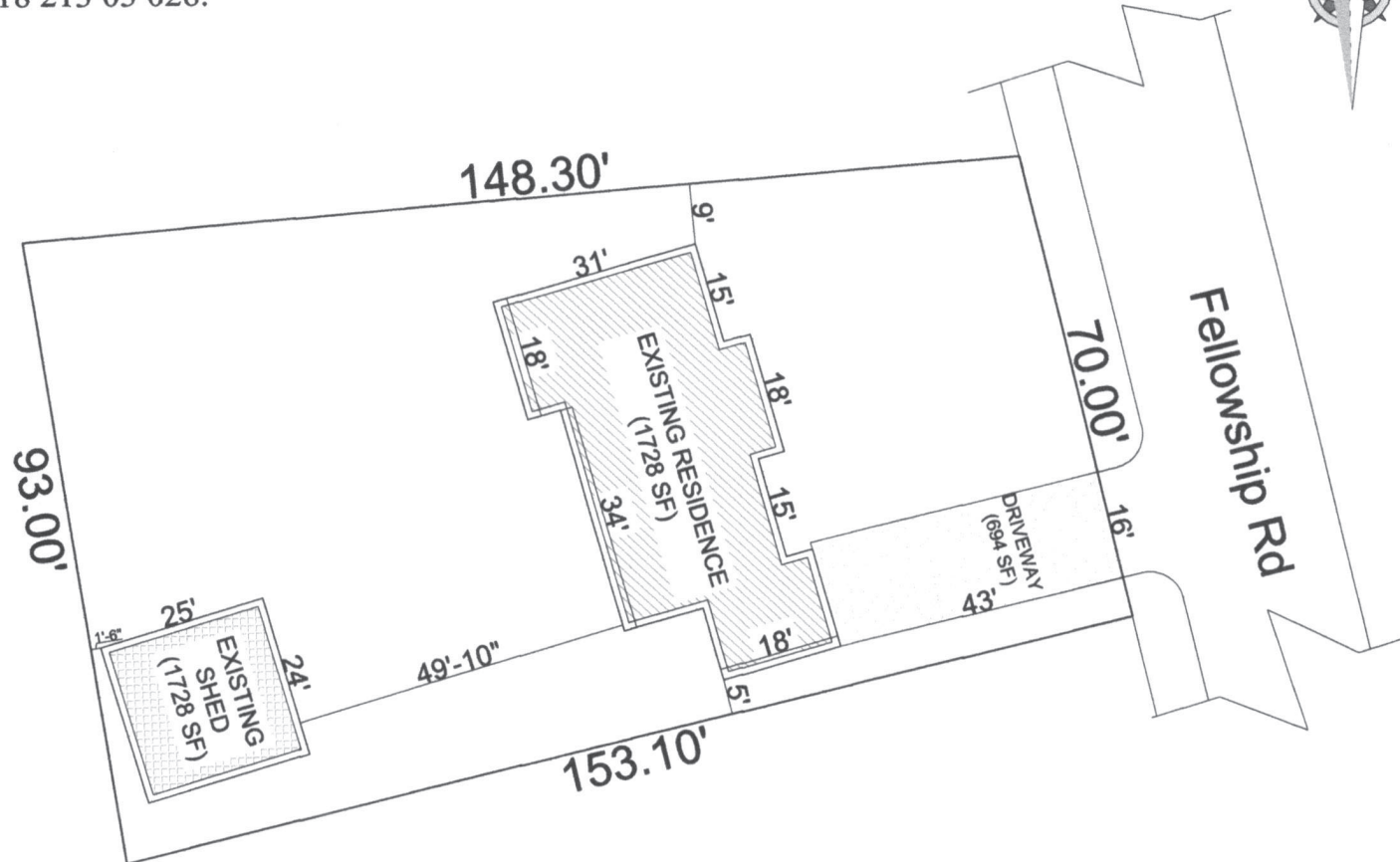


**SITE PLAN**

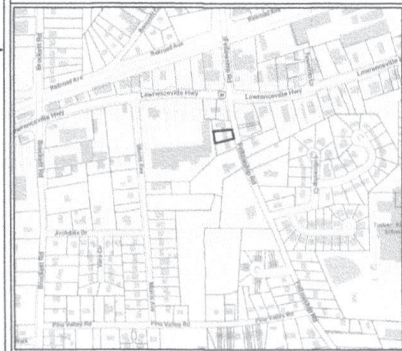
**LOCATION:** 2212 Fellowship Rd, Tucker, GA 30084, USA

**SITE CITY:** TUCKER

**PARCEL ID:** 18 213 03 028.



**VICINITY MAP**



**SCOPE OF WORK**

-SITE PLAN OF THE PROPERTY UNDER REVIEW SHOWING THE EXISTING RESIDENTIAL DEVELOPMENT.

**LOT SIZE**

**0.28 Acres**

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SHEET TITLE  
**SITE PLAN**

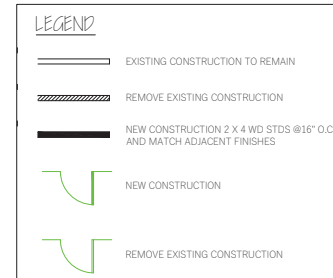
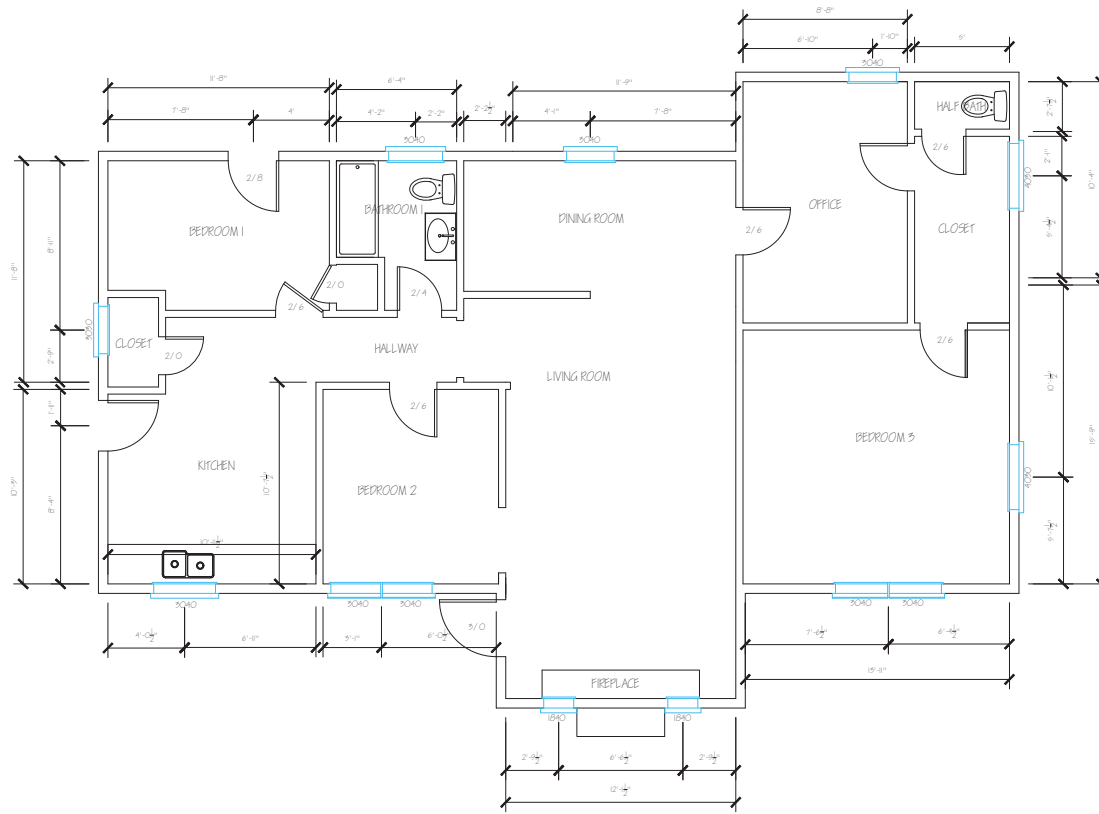
LOT OWNER:  
**PHAM THY MINH  
PHAM DIEM MINH,  
NGUYEN QUAN  
TRAN PHAM CHINH  
K**

**DEEN'S CONSULTS**  
Architects, Planners & Project Managers  
PLANNING & ZONING  
DEPARTMENT  
ISM.AILAOTU@GMAIL.COM

ARCHITECT *Deen's consult*  
DRAWN *Deen's consult*  
CHECKED BY *Deen's consult*  
SCALE 1"=30' DATE 10-25-2022

SHEET NO.  
**01**

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**EXISTING CONDITIONS - FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

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**GENERAL NOTES**

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. RECOMMENDATIONS.
2. IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
3. INTERIOR WALL DIMENSIONS ARE TO CENTER OF STUDS.
4. EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
5. CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE PLANS, DETAILS, AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
6. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
7. ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
8. ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

**HIERO DESIGN**  
 1896 FOX CHAPEL DR SE  
 SMYRNA GA 30080



**EXISTING CONDITIONS - FLOOR PLAN**  
 2212 FELLOWSHIP ROAD  
 TUCKER, GEORGIA 30084

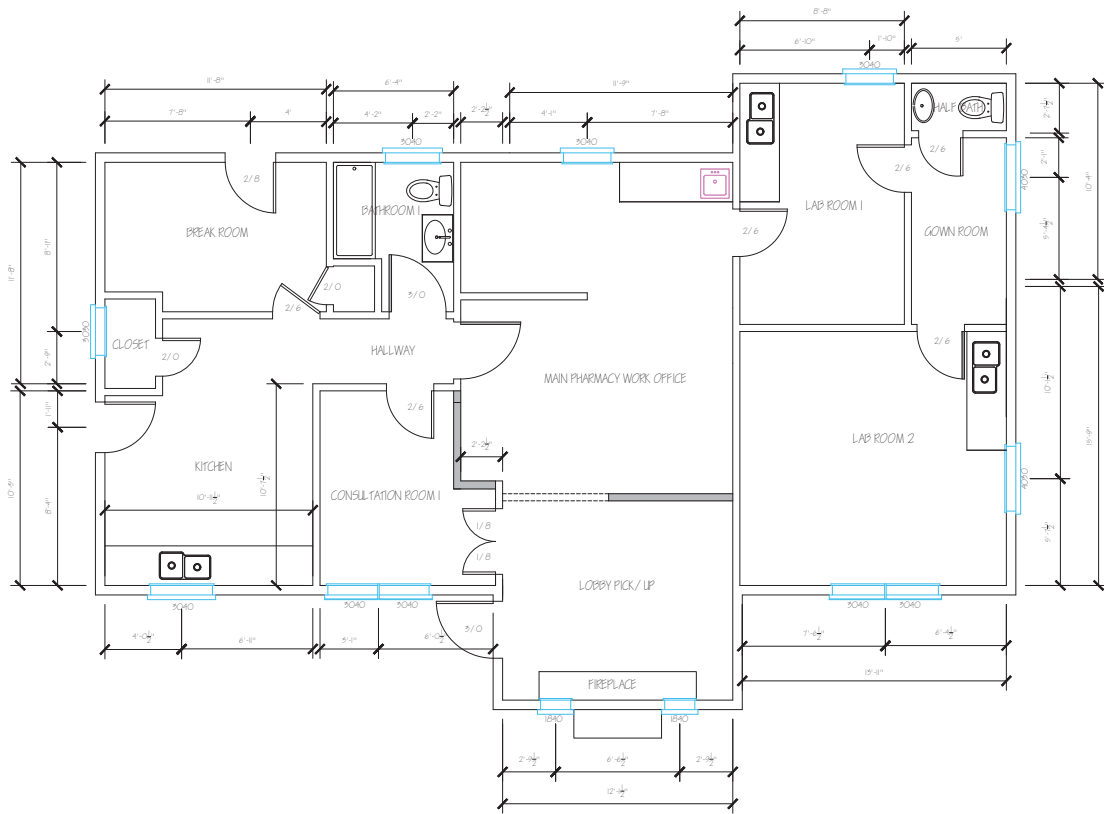
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 22SEP23

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**PROPOSED - FLOOR PLAN**

SCALE: 1/4" = 1'-0"

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LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	REMOVE EXISTING CONSTRUCTION
	NEW CONSTRUCTION 2 X 4 WD STDS @16" O.C. AND MATCH ADJACENT FINISHES
	NEW CONSTRUCTION
	REMOVE EXISTING CONSTRUCTION

**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. RECOMMENDATIONS.
- IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
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1896 FOX CHAPEL DR SE  
SMYRNA GA 30080



PROPOSED - FLOOR PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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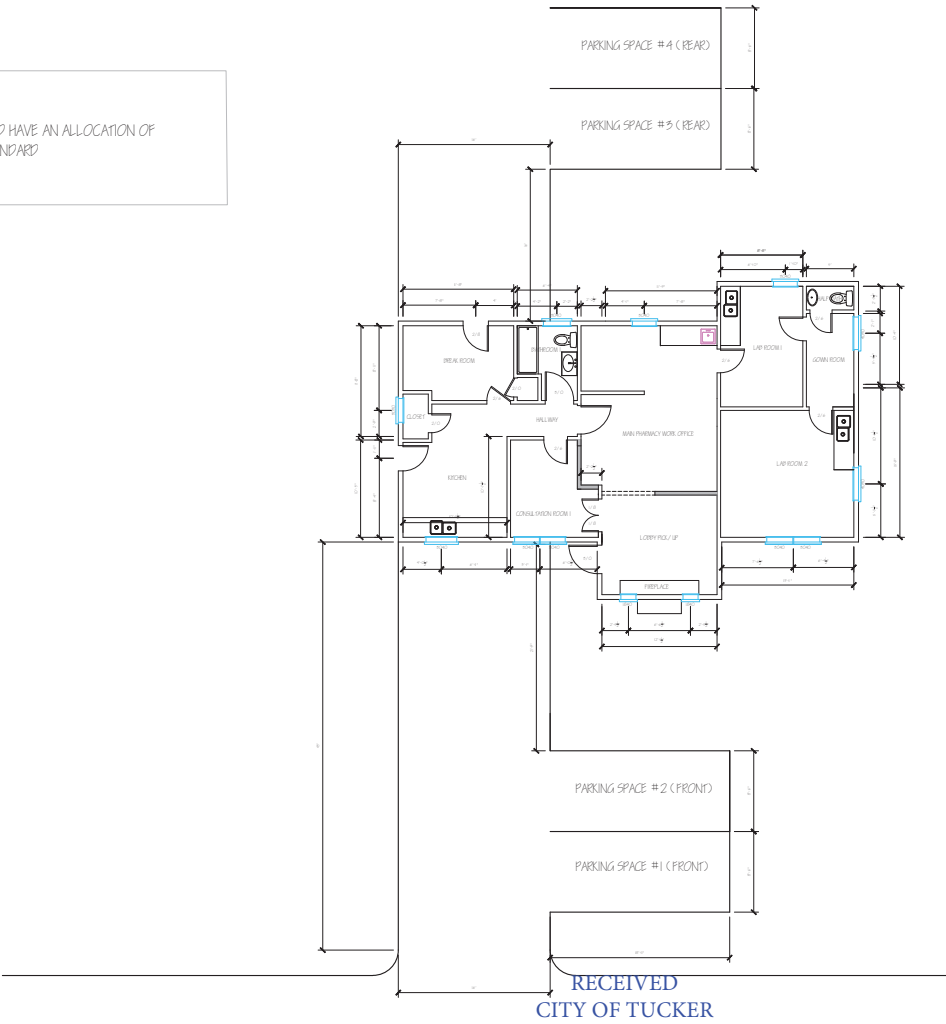
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GENERAL NOTES:

1. PARKING SPACES ARE STRIPPED AND HAVE AN ALLOCATION OF 18 FEET LONG AND 8' 6" WIDE PER STANDARD
- 2.



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PARKING PLAN  
SCALE: 1/8" = 1'-0"

HIERO DESIGN  
1896 FOX CHAPEL DR SE  
SMYRNA GA 30080



PARKING PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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# City of Tucker

## Public Participation Plan Report Project Name:

Contact Name: *Thy Pham (404) 514-7802*

Meeting Date: *October 17, 2023*  
Meeting Location: *2212 Fellowship Rd Tucker, GA 30884*

Meeting Start Time: *7:10 pm*  
Meeting End Time: *7:45 pm*

Number of people in attendance: *4*

### Date of Filing of Land Use Petition Application:

**General Introduction:** please include information about who you reached out to for the meeting, communication outreach methods (letters, facebook, emails, etc), what you were proposing at the time of the neighborhood meeting, the meeting format (ppt, q&a, display boards, etc), and who attended the meeting on behalf of the applicant (engineers, attorney, developer, property owner, etc). Additional information that you feel is important to include is welcomed.

**Summary of concerns and issues raised at the meeting:** (please list and respond to each one individually; include as many items that were discussed).

1. List question/concern/comment/request for changes to the proposed plans

Applicant Response:

2. List question/concern/comment/request for changes to the proposed plans

Applicant Response:

The following must be submitted at time of application submittal:

- Copy of the letter that was mailed to neighbors
- Copy of address list for mailing

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- Meeting sign-in sheet
- Meeting minutes
- Copy of the plan that was presented at the neighborhood meeting

I, the undersigned, as the applicant or an authorized representative of the applicant do solemnly swear and attest that the information provided is true and accurate. I have included a complete record of the neighborhood meeting, as well as an honest response regarding the intentions for development.

Jose Ulloa  
 Signature of Applicant or Authorized Representative Date

Jose Ulloa  
 Type or Print Name of Applicant or Authorized Representative Date

[Signature] 10-19-2023  
 Signature of Notary Date



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Neighborhood Meeting Minutes  
October 17, 2023  
2212 Fellowship Rd Tucker, GA 30084

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1. INTRODUCTION
  - a. Thy Pham called the meeting to order at 7:10 pm. Guests in attendance are Phillip Franco, Tofik Nuru, Rita Valladares.
2. LAND USE & PLANNING
  - a. Major modification to allow compounding pharmacy in existing building. Adding two additional parking spaces in the back and front of the existing building.
3. COMMENTS BY GUESTS
  - a. Rita Valladares cautions that there is homeless issue in the areas and to make sure to secure the building and having security cameras.
  - b. Phillip Franco had questions about the layout of the pharmacy and how guest pick up prescription medication.
4. OBJECTIONS TO THE LAND USE & PLANNING
  - a. None
5. TOUR OF EXISTING BUILDING
  - a. Guests toured the existing building and Thy Pham explained to the guests the proposed layout of the compounding pharmacy.
6. ADJOURNMENT
  - a. Thy Pham adjourned the meeting at 7:45 pm.





2212 Fellowship Road 500 foot list

3976 Lawrenceville Highway Tucker, GA 30084	TUCKERSHOPS LLC		PO BOX 1352	DECATUR	GA	30031
2195 Fellowship Road Tucker, GA 30084	MATTCO PROPERTIES LLC		2046 CHAMBORD WAY	SNELLVILLE	GA	30078
3984 Lawrenceville Highway Tucker, GA 30084	PARASMANI INVESTMENT LLC		1622 BARRINGTON VW	STONE MOUNTAIN	GA	30087
2220 Fellowship Road Tucker, GA 30084	MAKTAB TARIGHAT OVEYSSI SHAHMAGHSOUDI	SCHOOL OF ISLAMI SUFISM	7232 HESPERIA AVE	RESEDA	CA	91335
2212 Fellowship Road Tucker, GA 30084	PHAM THY MINH PHAM DIEM MINH	NGUYEN QUAN TRAN PHAM CHINH K	2459 ELIZABETH ANN LN NE	ATLANTA	GA	30324
2190 Fellowship Court Tucker, GA 30084	ARAGON CORTES ZUATH		2190 FELLOWSHIP CT	ATLANTA	GA	30360
4012 Lawrenceville Highway Tucker, GA 30084	DOSETAREH RAYON	DOSETAREH ISAAC	1268 ARBORVISTA DR	ATLANTA	GA	30329
3989 Lawrenceville Highway Tucker, GA 30084	3989 LAWRENCEVILLE LLC		3989 LAWRENCEVILLE HWY	TUCKER	GA	30084
2218 Fellowship Road Tucker, GA 30084	THOMAS ROBERT T	THOMAS MILINDA S	1837 WHISPERING PINES	HIAWASSEE	GA	30546
2175 Morris Avenue Tucker, GA 30084	MORRIS ESTELLE MRS EST		1493 IDLEHOUR WAY	TUCKER	GA	30084
2169 Morris Avenue Tucker, GA 30084	BELCHER DAVID M	BELCHER IRENE W	2161 MORRIS AVE	TUCKER	GA	30084
2162 Fellowship Road Tucker, GA 30084	APOSTOLES IGLESIA EVANGELICA &	PROFETAS EFESIOS 2:20 INC	2162 FELLOWSHIP RD	TUCKER	GA	30084
2211 Fellowship Road Tucker, GA 30084	ARC DBPPROP001 LLC		104 WILMOT RD	DEERFIELD	IL	60015
2173 Fellowship Road Tucker, GA 30084	MOORE STEVEN ANTHONY		2173 FELLOWSHIP RD	TUCKER	GA	30084
2204 Fellowship Court Tucker, GA 30084	RAMBO WILLIAM JOSHUA		2204 FELLOWSHIP CT	TUCKER	GA	30084
2208 Fellowship Court Tucker, GA 30084	ARMSTRONG J KAREN		1020 MOUNTAIN CREEK TRL	ATLANTA	GA	30328
4026 Lawrenceville Highway Tucker, GA 30084	LAM KHA	THUY TRAN TRANG	4026 LAWRENCEVILLE HWY	TUCKER	GA	30084
4021 Lawrenceville Highway Tucker, GA 30084	MCDONALDS CORP		P.O. BOX 182571	COLUMBUS	OH	43218
4003 Lawrenceville Highway Tucker, GA 30084	ARC DBPPROP001 LLC		104 WILMOT RD	DEERFIELD	IL	60015
3970 Lawrenceville Highway Tucker, GA 30084	SMV INVESTMENT LLC		1053 CASCADE AVE SW	ATLANTA	GA	30311
4138 Pine Valley Road Tucker, GA 30084	MORRIS ESTELLE MRS EST		1493 IDLEHOUR WAY	TUCKER	GA	30084
2206 Fellowship Road Tucker, GA 30084	TULIS MARTIN		1314 COUNCIL BLUFF DR	ATLANTA	GA	30345
4013 Lawrenceville Highway Tucker, GA 30084	DEKALB COUNTY		1300 COMMERCE DR	DECATUR	GA	30030
2215 Fellowship Road Tucker, GA 30084	ARC DBPPROP001 LLC		104 WILMOT RD	DEERFIELD	IL	60015
3950 Lawrenceville Highway Tucker, GA 30084	EUNHA INC		3950 LAWRENCEVILLE HWY	TUCKER	GA	30084
3990 Lawrenceville Highway Tucker, GA 30084	TUCKER PLAZA INVESTMENT LLC		P O BOX 871101	STONE MOUNTAIN	GA	30087
3955 Lawrenceville Highway Tucker, GA 30084	TUCKER TOWN SQUARE LLC		2881 WALLACE RD	BUFORD	GA	30519
2179 Morris Avenue Tucker, GA 30084	LEAK BEN C		1954 CASTLEWAY LN NE	ATLANTA	GA	30345
3989 Lawrenceville Highway Side Tucker, GA 30084	3989 LAWRENCEVILLE LLC		3989 LAWRENCEVILLE HWY	TUCKER	GA	30084
2203 Fellowship Road Tucker, GA 30084	PAGROG ENTERPRISES LLC		1227 ROCKBRIDGE RD STE 208 196	STONE MOUNTAIN	GA	30087
2187 Fellowship Road Tucker, GA 30084	MUNA CENTER OF GEORGIA INC		125 SUNSET CT	ROSWELL	GA	30075
2198 Fellowship Court Tucker, GA 30084	SMITH GREGORY J		2198 FELLOWSHIP CT	TUCKER	GA	30084

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